

New Arlington Career Center January 2025 Construction Update

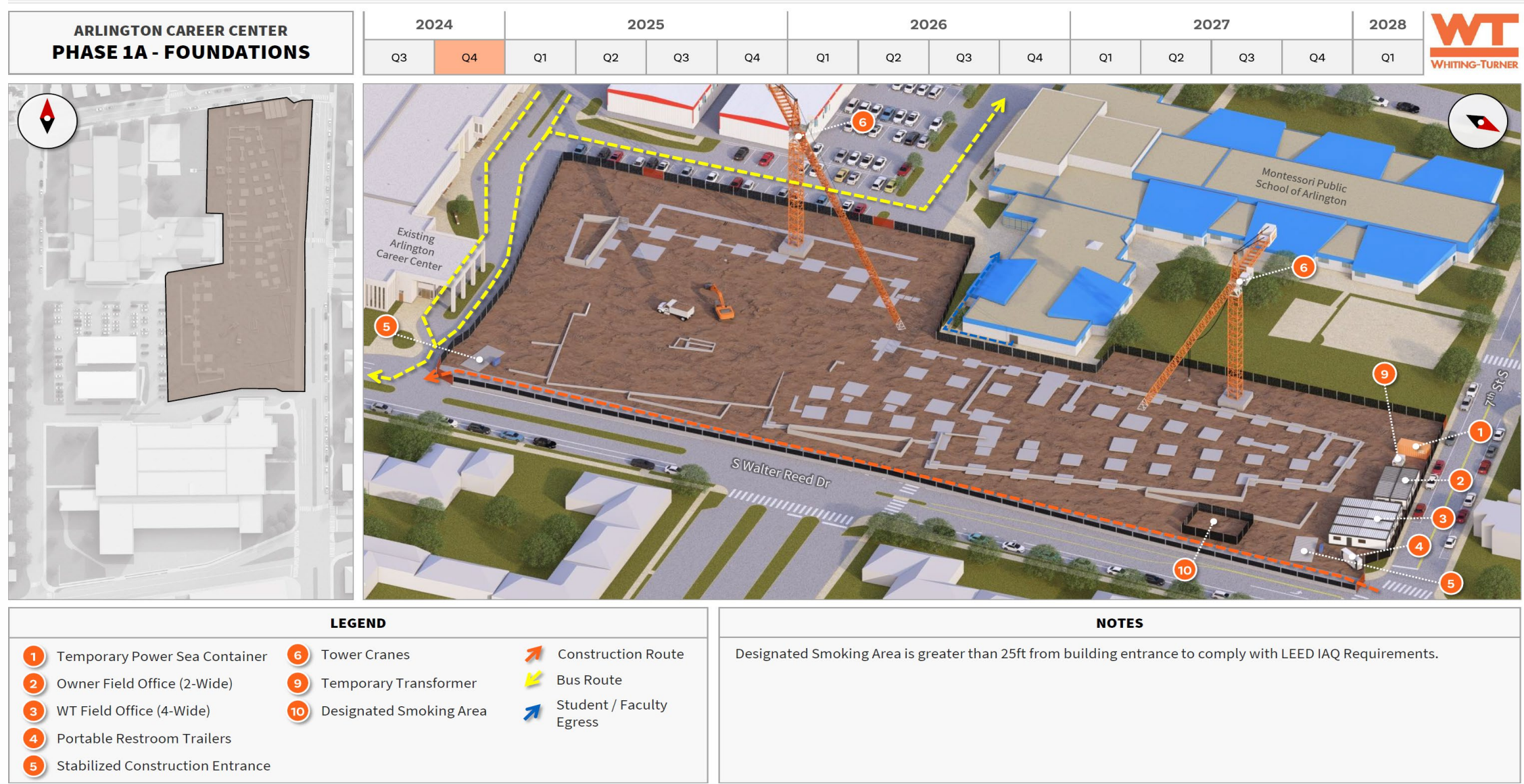
January 29, 2025

- Civil Engineering Plan (CEP) – approved on 12/5
- New Career Center Building Permit – approved on 12/10
- Existing Career Center Building Permit – approved on 12/18
- Full Site Land Disturbing Activity (LDA) Permit – approved on 1/10
- New Parking Garage Building Permit – anticipate approval in early February
- Right of Way (ROW) Permit for Utility Work at 7th St S – approved on 1/16
- Right of Way (ROW) Permit for Median Removal at S Walter Reed Dr – anticipate submission early February, approval late February

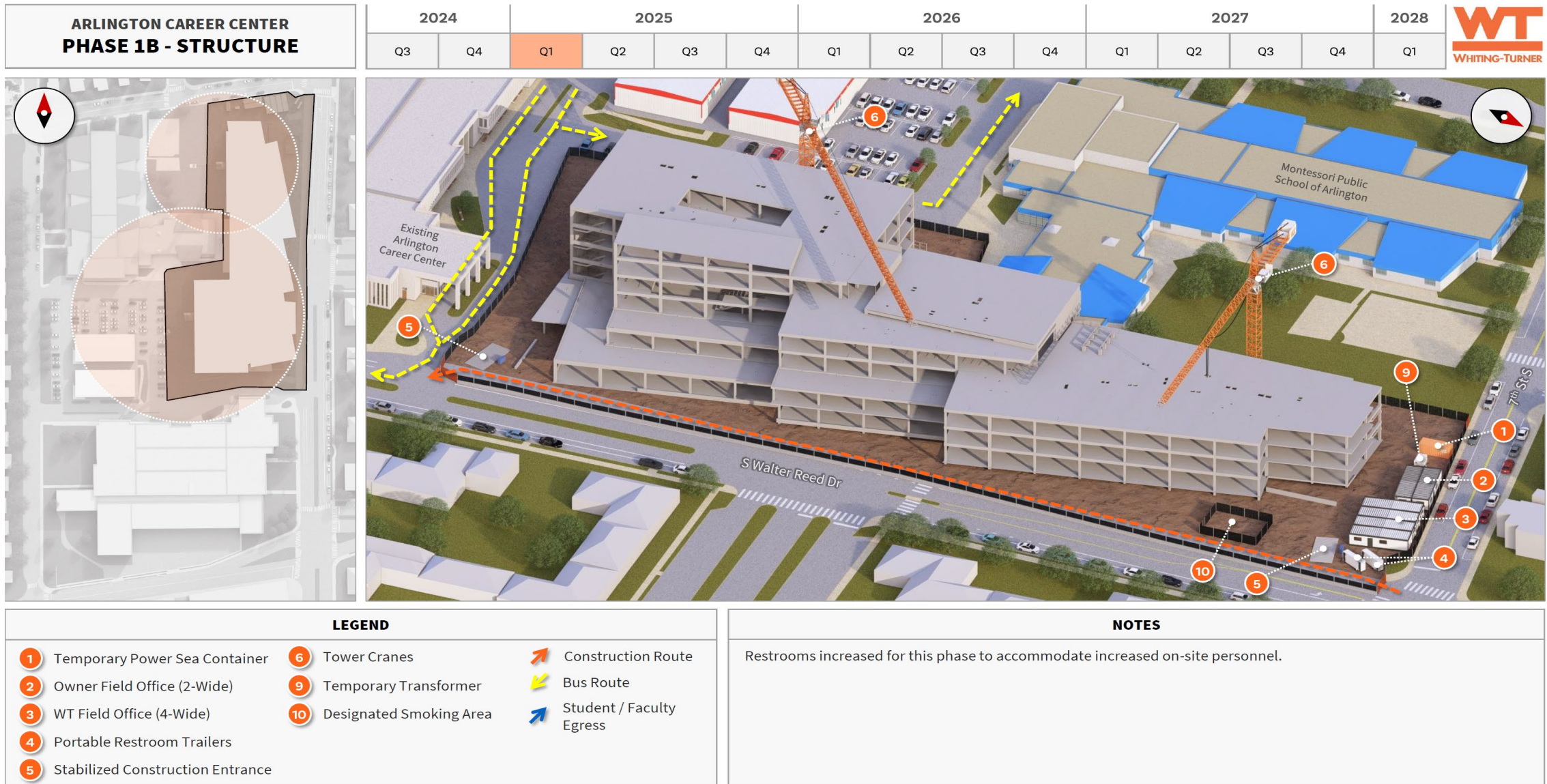
Project Scope and Schedule

- Phase 1 (Spring 2024 – Summer 2026)
 - a. construct new Arlington Career Center
 - b. construct new streetscape (sidewalk, planting strip, street trees/lights) adjacent to phase 1 construction
 - c. utility work
- Phase 2 (Summer 2026 – Summer 2027)
 - a. demolish high bay shops on south side of existing Career Center facility and restore façade
 - b. Construct new parking garage
 - c. construct new streetscape adjacent to phase 2 construction
- Phase 3 (Summer 2027 – Fall 2027)
 - a. construct new play field at former parking lot location
 - b. repave bus loop and complete remaining sitework
 - c. construct new streetscape adjacent to phase 3 construction
- County Complete Streets project – not in project scope, County will commence work after Phase 1

Phase 1 (spring 2024 – summer 2026)



Phase 1 (spring 2024 – summer 2026)

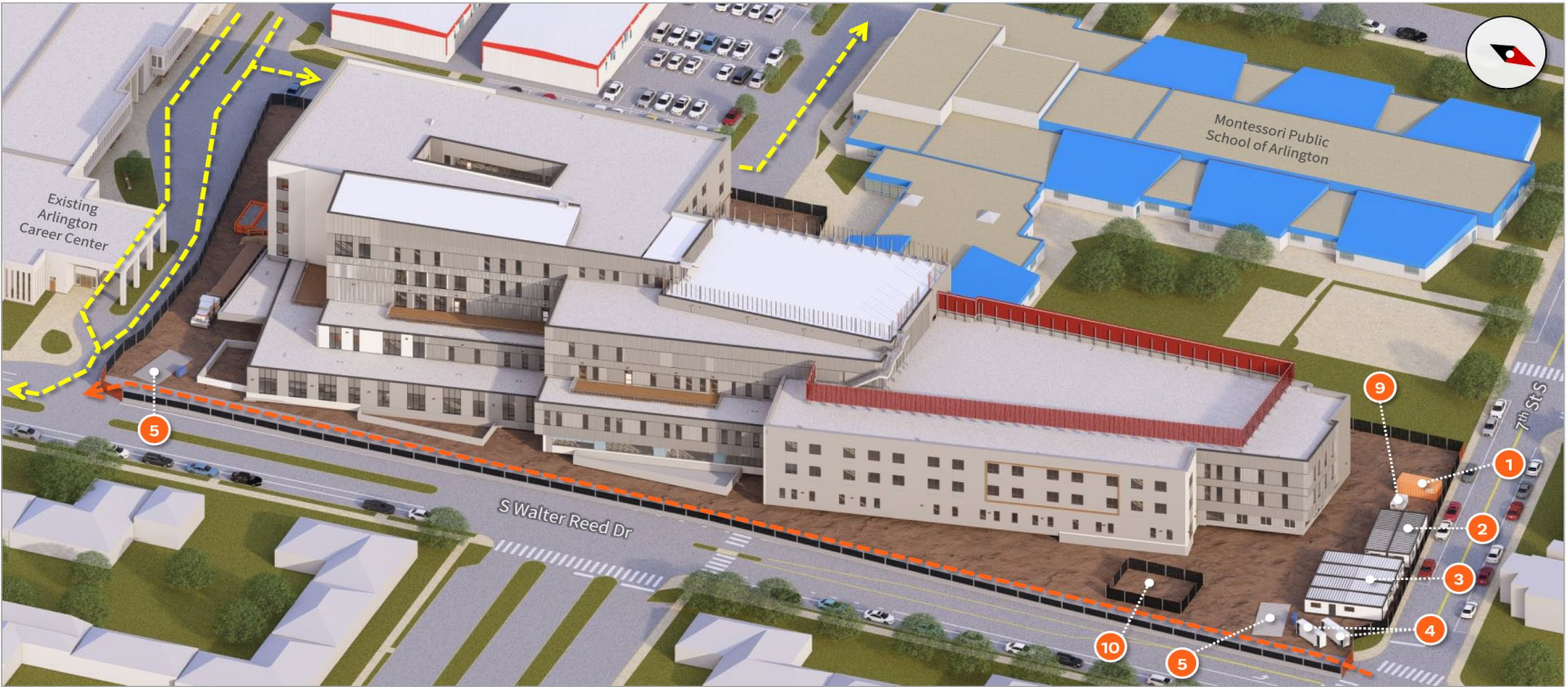
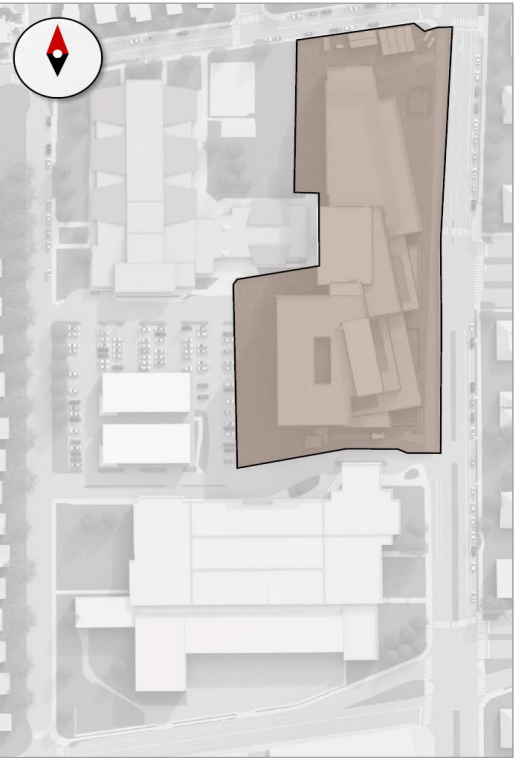


Phase 1 (spring 2024 – summer 2026)

Last updated: 07/17/2024

ARLINGTON CAREER CENTER PHASE 1C – BUILDING SKIN

| 2024 | | 2025 | | | | 2026 | | | | 2027 | | | | 2028 |
|------|----|------|----|----|----|------|----|----|----|------|----|----|----|------|
| Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 |



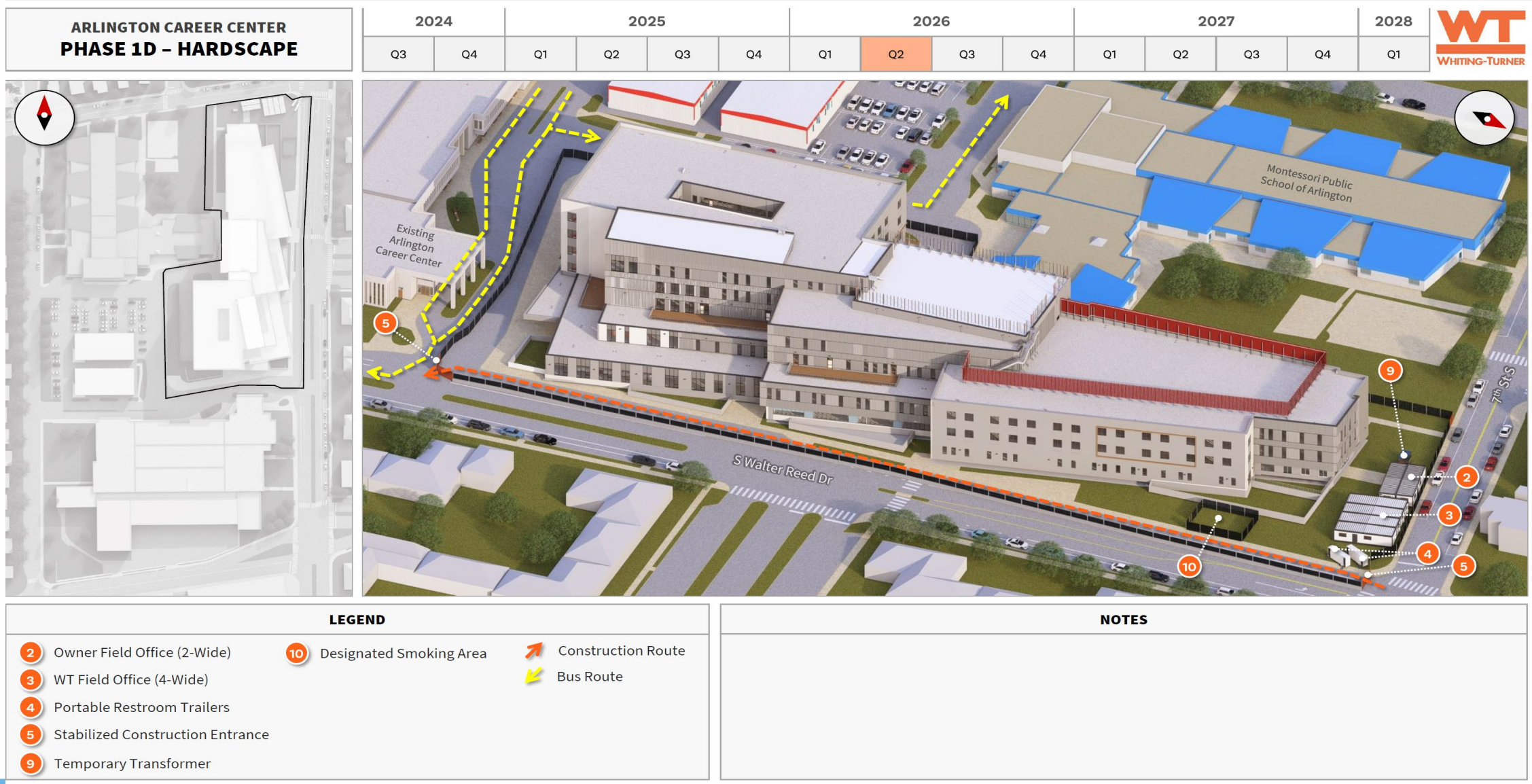
LEGEND

- | | | |
|------------------------------------|----------------------------|----------------------------|
| 1 Temporary Power Sea Container | 9 Temporary Transformer | ↗ Construction Route |
| 2 Owner Field Office (2-Wide) | 10 Designated Smoking Area | ↘ Bus Route |
| 3 WT Field Office (4-Wide) | | ↖ Student / Faculty Egress |
| 4 Portable Restroom Trailers | | |
| 5 Stabilized Construction Entrance | | |

NOTES

Restrooms increased for this phase to accommodate increased on-site personnel

Phase 1 (spring 2024 – summer 2026)





Phase 2 (summer 2026 – summer 2027)

ARLINGTON CAREER CENTER PHASE 2 - DEMOLITION

LEGEND

- Site Access Gates
- 6' Site Fence with Scrim
- Jersey Barrier with Scrim
- Construction Route
- Bus Route

KEY LOGISTICS ITEMS

- 4 Portable Restroom Trailers
- 5 Stabilized Construction Entrance
- 7 Material Laydown Area
- 10 Designated Smoking Area






NOTES

Field offices to move to Existing ACC at completion of New ACC.

Phase 2 (summer 2026 – summer 2027)

ARLINGTON CAREER CENTER PHASE 2 - GARAGE

LEGEND

-  Site Access Gates
-  6' Site Fence with Scrim
-  Jersey Barrier with Scrim
-  Construction Route
-  Bus Route

KEY LOGISTICS ITEMS

-  4 Portable Restroom Trailers
-  5 Stabilized Construction Entrance
-  6 Precast Double T Delivery Truck
-  7 Crawler Crane
-  8 Material Laydown Area
-  10 Designated Smoking Area

| 2024 | | 2025 | | | | 2026 | | | | 2027 | | | | 2028 |
|------|----|------|----|----|----|------|----|----|----|------|----|----|----|------|
| Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 |



NOTES

Field offices to move to Existing ACC at completion of New ACC.



Phase 3 (summer 2027 – fall 2027)

Last updated: 8/12/2024

ARLINGTON CAREER CENTER PHASE 3

LEGEND

- Site Access Gates
- 6' Site Fence with Scrim
- Jersey Barrier with Scrim
- Construction Route
- Bus Route

KEY LOGISTICS ITEMS

- 4 Portable Restroom Trailers
- 5 Stabilized Construction Entrance
- 7 Material Laydown Area

| 2024 | | 2025 | | | | 2026 | | | | 2027 | | | | 2028 |
|------|----|------|----|----|----|------|----|----|----|------|----|----|----|------|
| Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 |



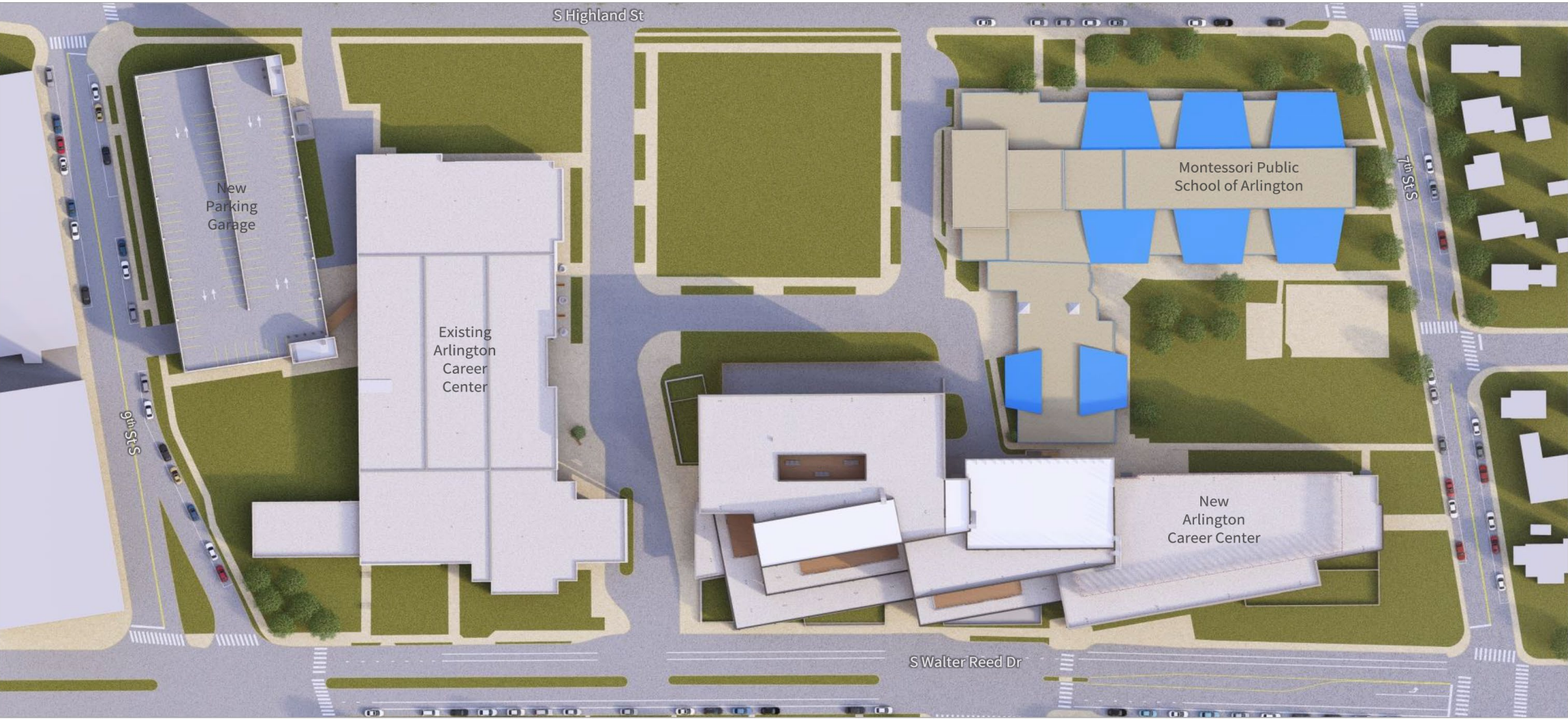
NOTES



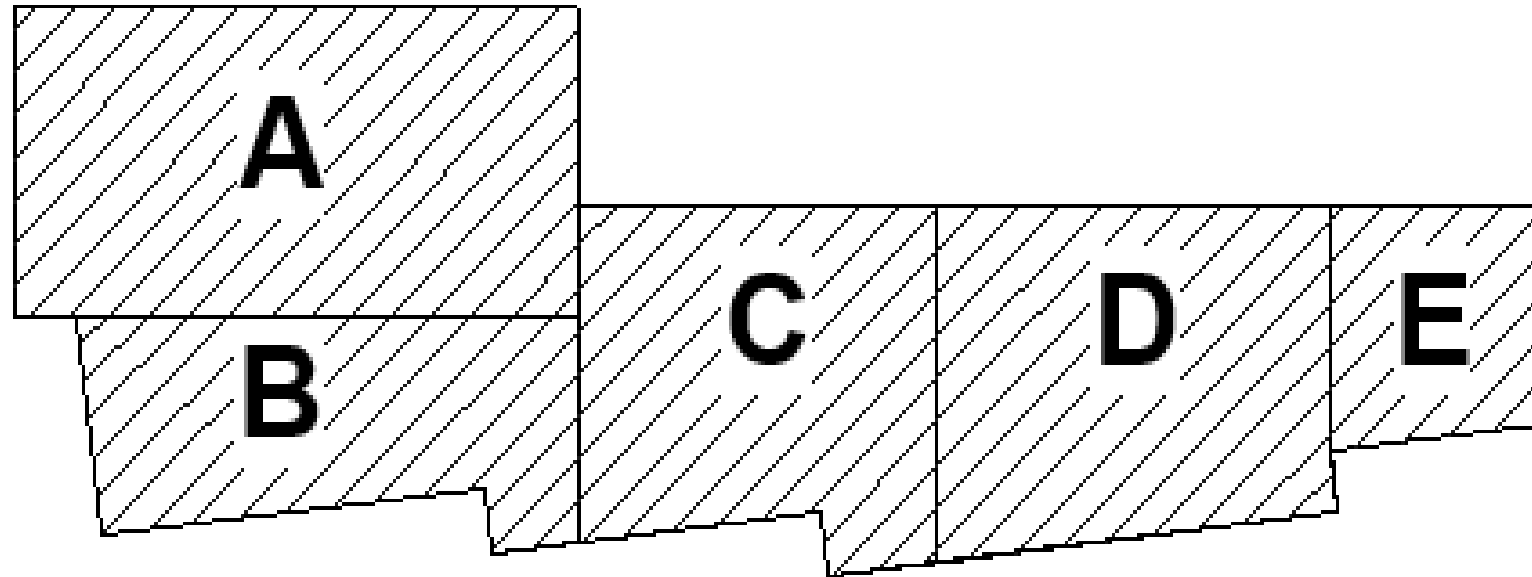
Campus Site Plan Final Conditions

**ARLINGTON CAREER CENTER
FINAL CONDITIONS**

| 2024 | | 2025 | | | | 2026 | | | | 2027 | | | | 2028 |
|------|----|------|----|----|----|------|----|----|----|------|----|----|----|------|
| Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 | Q2 | Q3 | Q4 | Q1 |



Keyplan

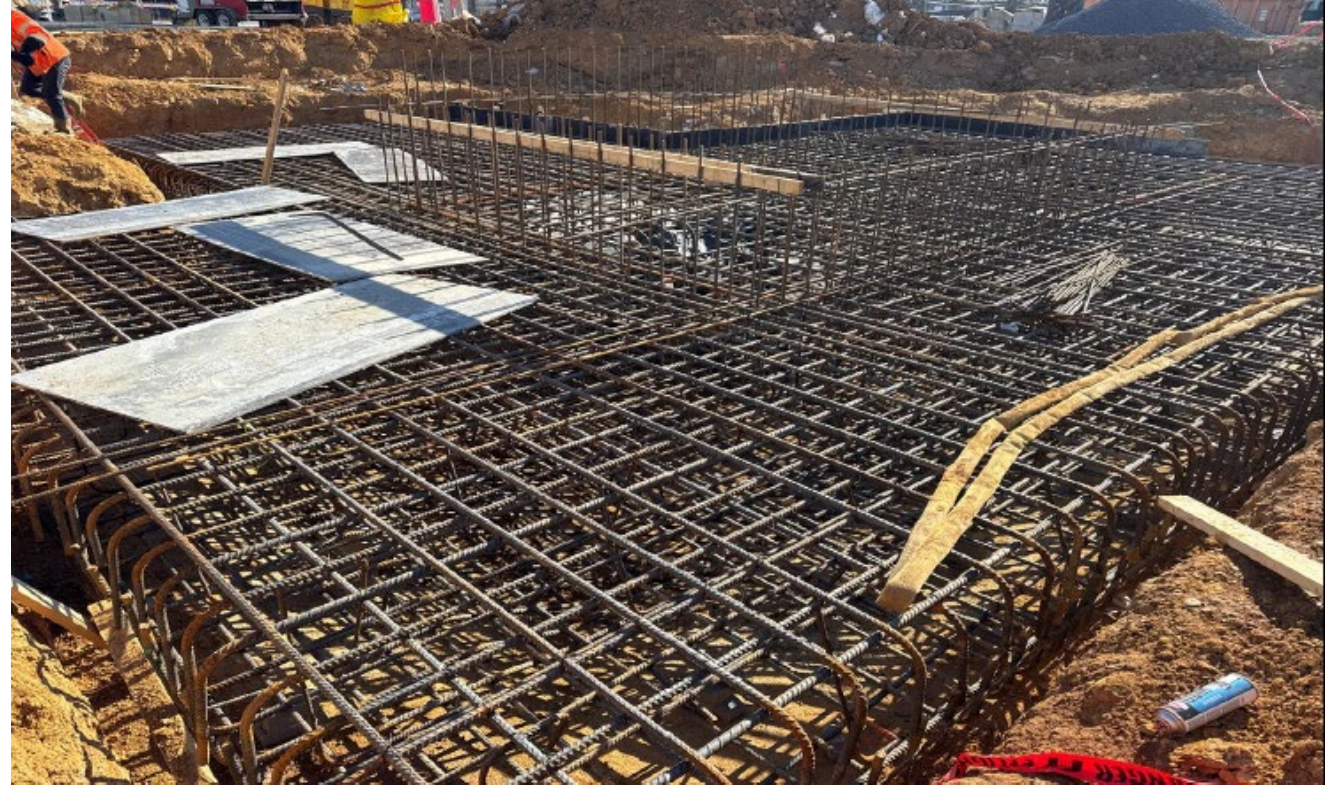
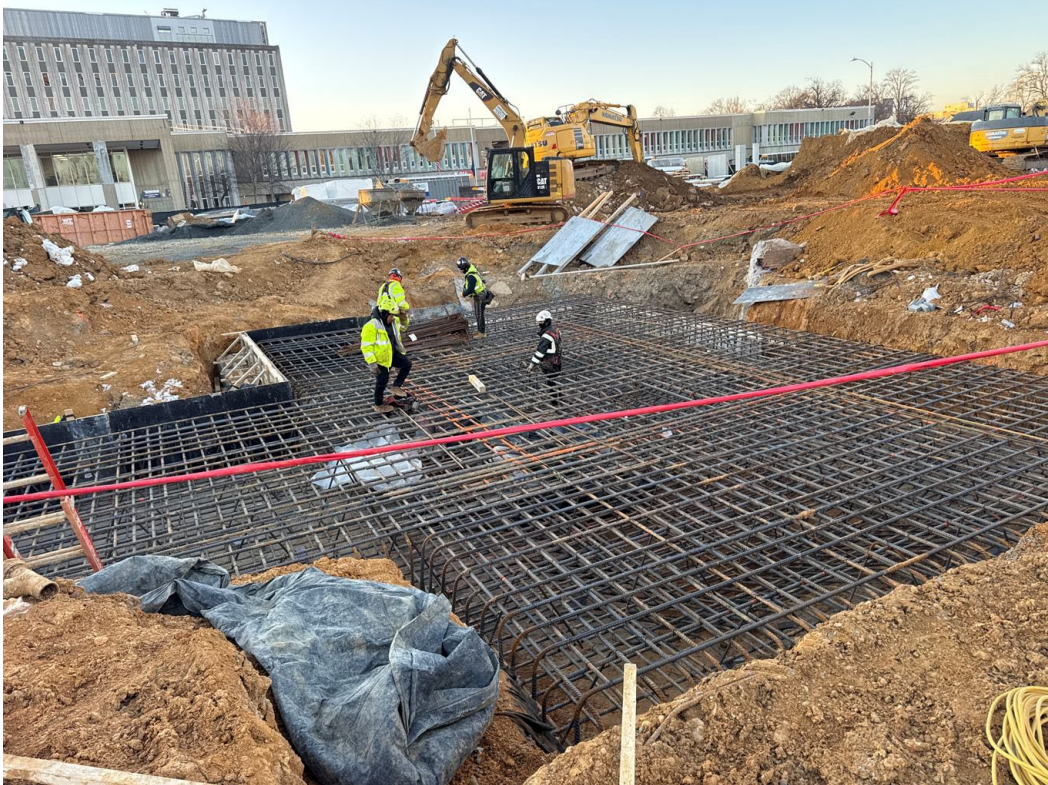


South Walter Reed Drive

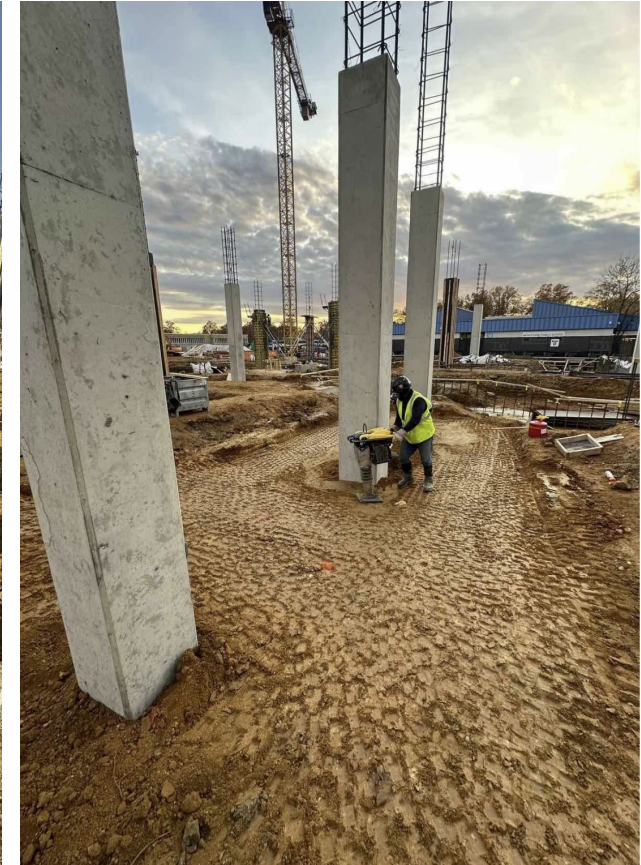
7th Street South

- 1st floor slab on grade – areas C, D, E complete, area B 50% complete
- 2nd level floor slab – area D and E 100%, area C formwork in progress
- 3rd level floor slab – area D and E formwork in progress
- Site utilities –
 - Temporary construction power – complete
 - Primary and Secondary ductbanks for permanent power – 50% complete
 - Building sanitary connection to 7th St S main – 10% complete (1/27 – 2/7)
 - Communications ductbank – 50% complete
 - Domestic water service and fire line – pre-construction meeting with county DES held on 1/27. County water line roughed in within the curb line onsite
- Existing Career Center facility ground mounted chiller relocation to roof – rooftop structural support complete, mechanical screenwall enclosure 50%

Construction Progress – Rebar for Footings/Foundations



Construction Progress – 1st Floor Columns



Construction Progress – Continuous Footings and Foundation Walls



Construction Progress – Foundation Waterproofing



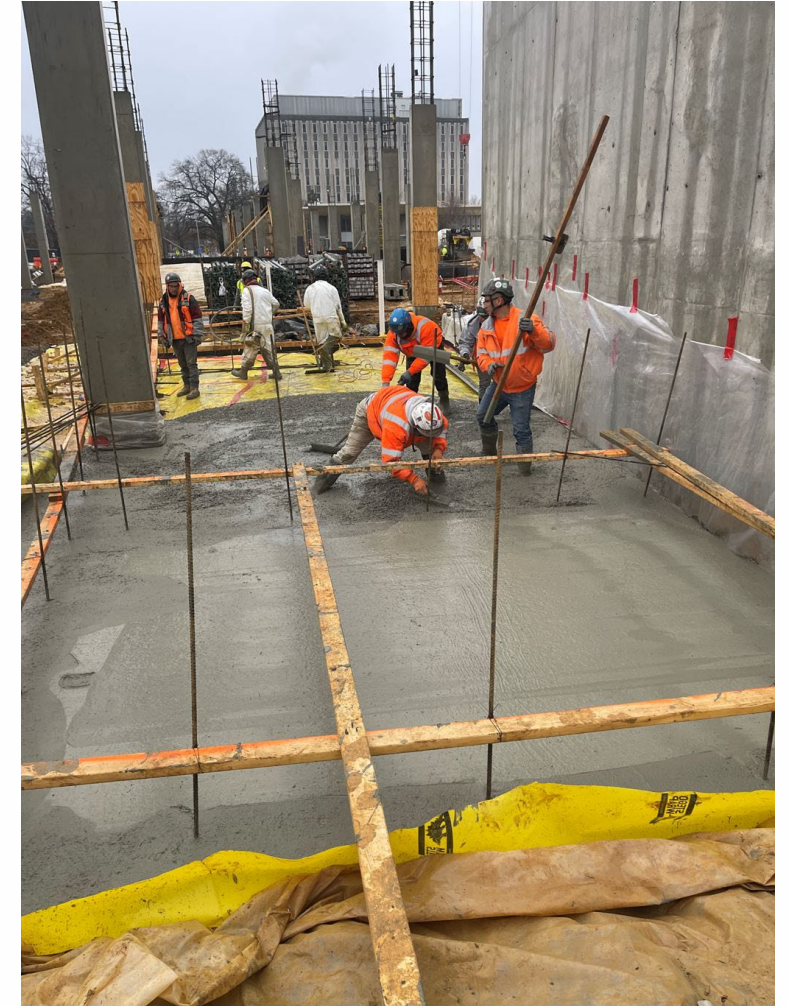
Construction Progress – Shear Walls



Construction Progress – Plumbing Groundworks



Construction Progress – 1st Floor Slab on Grade





Construction Progress – 1st Floor Slab on Grade



Construction Progress – 2nd Level Deck Rebar



Construction Progress – 2nd Floor Concrete Deck Placement and Finishing



Construction Progress – 2nd Floor Columns



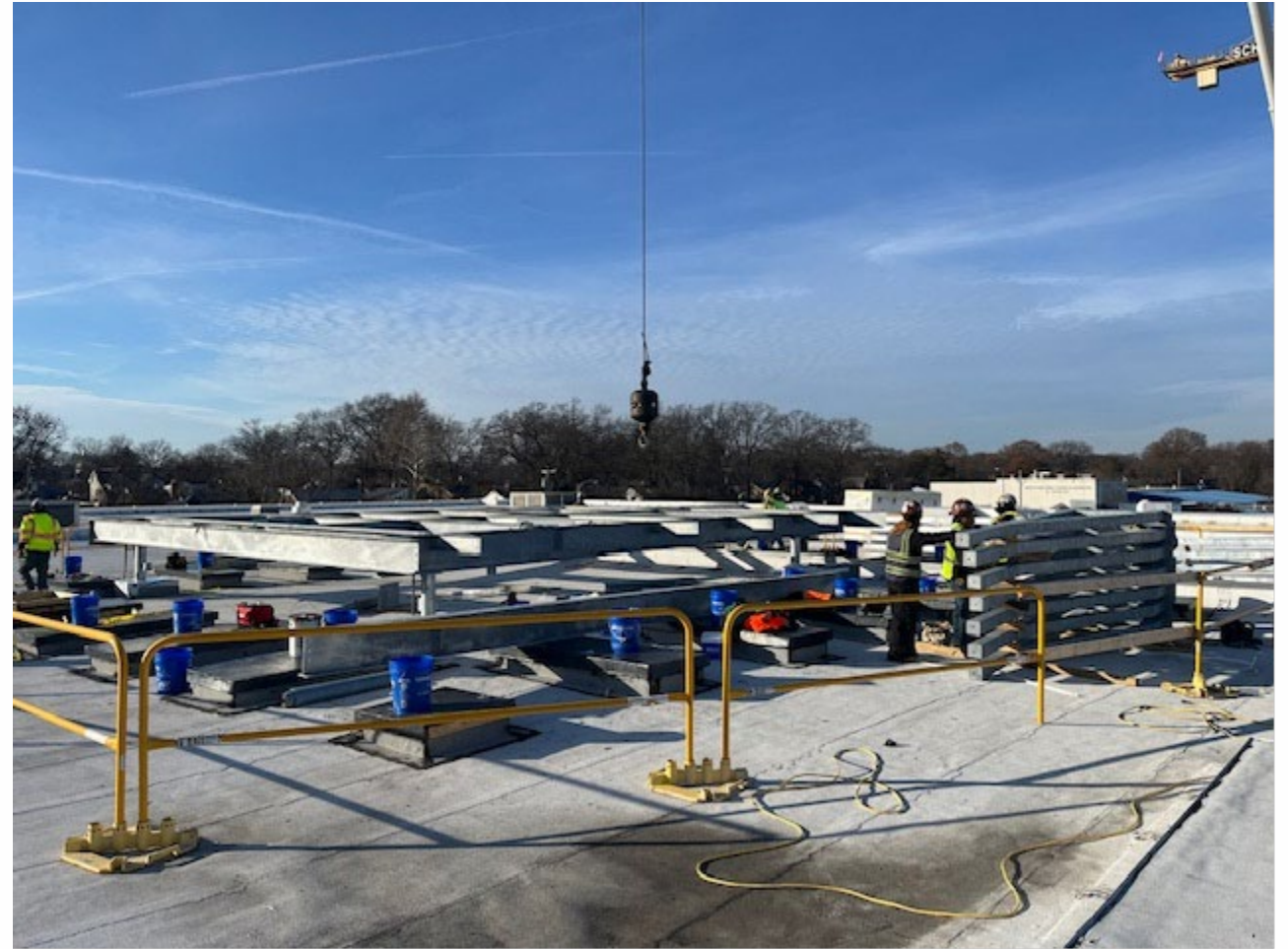
Construction Progress – Secondary Electric Ductbank



Construction Progress – Primary Electrical Ductbank



Construction Progress – Existing ACC Chiller Relocation



Construction Progress – Existing ACC Chiller Relocation



4 Week Construction Look Ahead

- 1st floor slab on grade – complete by end of February
- 2nd level floor slab – areas B and C complete by mid-March
- 3rd level floor slab – area C, D and E complete by early March
- Site utilities –
 - Secondary ductbank for permanent power – 50% complete, ongoing
 - Building sanitary connection to 7th St S main – scheduled for 1/27 – 2/7
 - Communications ductbank – 50% complete, ongoing
 - Domestic water service and fire line – scheduled for completion in February
- Existing Career Center facility ground mounted chiller relocation to roof – mechanical screenwall enclosure completion in February, rigging of chiller to roof scheduled for spring break (4/14-4/18)
- Median removal in S Walter Reed Dr – pending Right of Way (ROW) permit approval, work likely to take place in March

Maintenance of Traffic and Utility Work

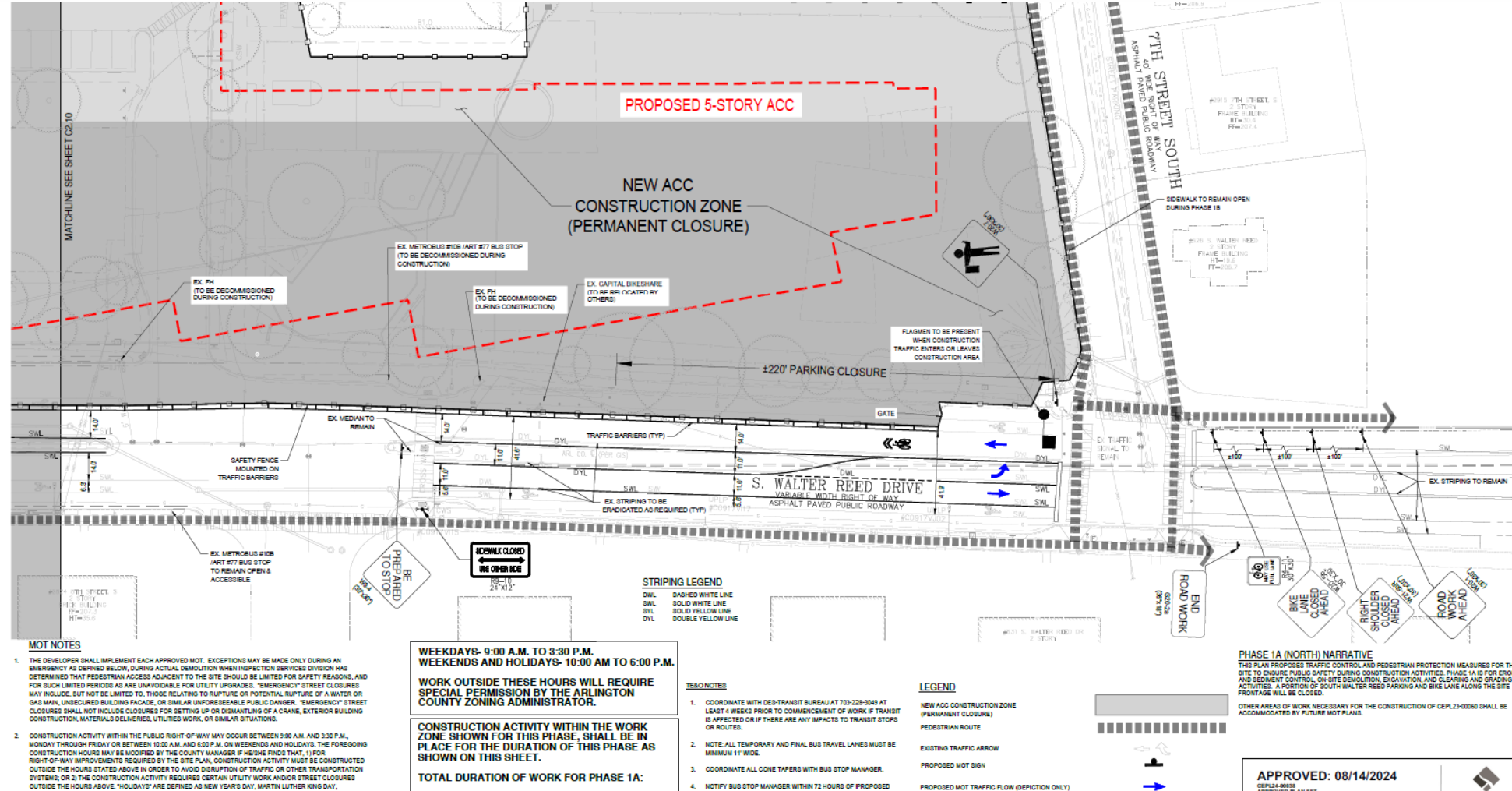
- Maintenance of Traffic (MOT) Plans – will be developed with contractor for each facet of construction and sent to county for approval. Once approved, will be shared with the community for information.
- Temporary Closure of any Traffic Lanes – as part of the MOT Plans, we anticipate that sidewalk, bike lane, and parking lane adjacent to each phase of construction will be closed in order to efficiently execute the construction. There may be some temporary traffic lane shifts as utilities servicing the new facilities are installed
- Site access during construction – will generally be maintained as per the current configuration with temporary interruptions during the installation of new concrete entrances and re-paving of vehicular and pedestrian pathways onsite
- Timing of Utility Work – other than the temporary traffic lane shifts noted above, we don't anticipate any outages or impacts to abutting neighbors. Notification to abutting neighbors will be provided in advance for any known impacts related to utility work

Phase 1A Maintenance of Traffic (MOT) Plan

- No impact to the (northbound) travel lane, parking lane, bike lane, or sidewalk on the east side of S Walter Reed Dr
- Remove from operation the sidewalk, bike lane, and parking lane along the frontage of the construction site on the west side of S Walter Reed Dr. Unfortunately, it is necessary to include this real estate within the construction zone as it is the only way to efficiently build the new facility given the tight site.
- The southbound travel lane adjacent to the construction site remains but becomes a “sharrow” meaning it can be used by bikes and cars
- Pedestrians are informed via signage of the sidewalk closure on the west side of S Walter Reed Dr between the intersection of 7th St S and a newly installed crosswalk south of the existing ACC bus loop (in line with ACC door 4) and directed to cross and use the sidewalk on the east side of the street
- The newly installed crosswalk now has a rapid flash beacon (RFB) installed to better inform motorists of crossing pedestrians.
- In place through summer 2026



Phase 1A Maintenance of Traffic Plan North



Baxman Consulting Group, Ltd.
13461 Sunrise Valley Drive
Suite 500
Herndon, VA 20171
Phone: (703) 464-1000
Fax: (703) 461-9720
www.baxmanconsulting.com
© Baxman Consulting Group, Ltd.

MAINTENANCE OF TRAFFIC PLAN PHASE 1A (NORTH)
NEW ARLINGTON CAREER CENTER
MAINTENANCE OF TRAFFIC PLAN &
TEMPORARY LIGHTING PLAN
800 S. WALTER REED DRIVE
ARLINGTON, VIRGINIA 22204
USE PERMIT #UPER23-00012



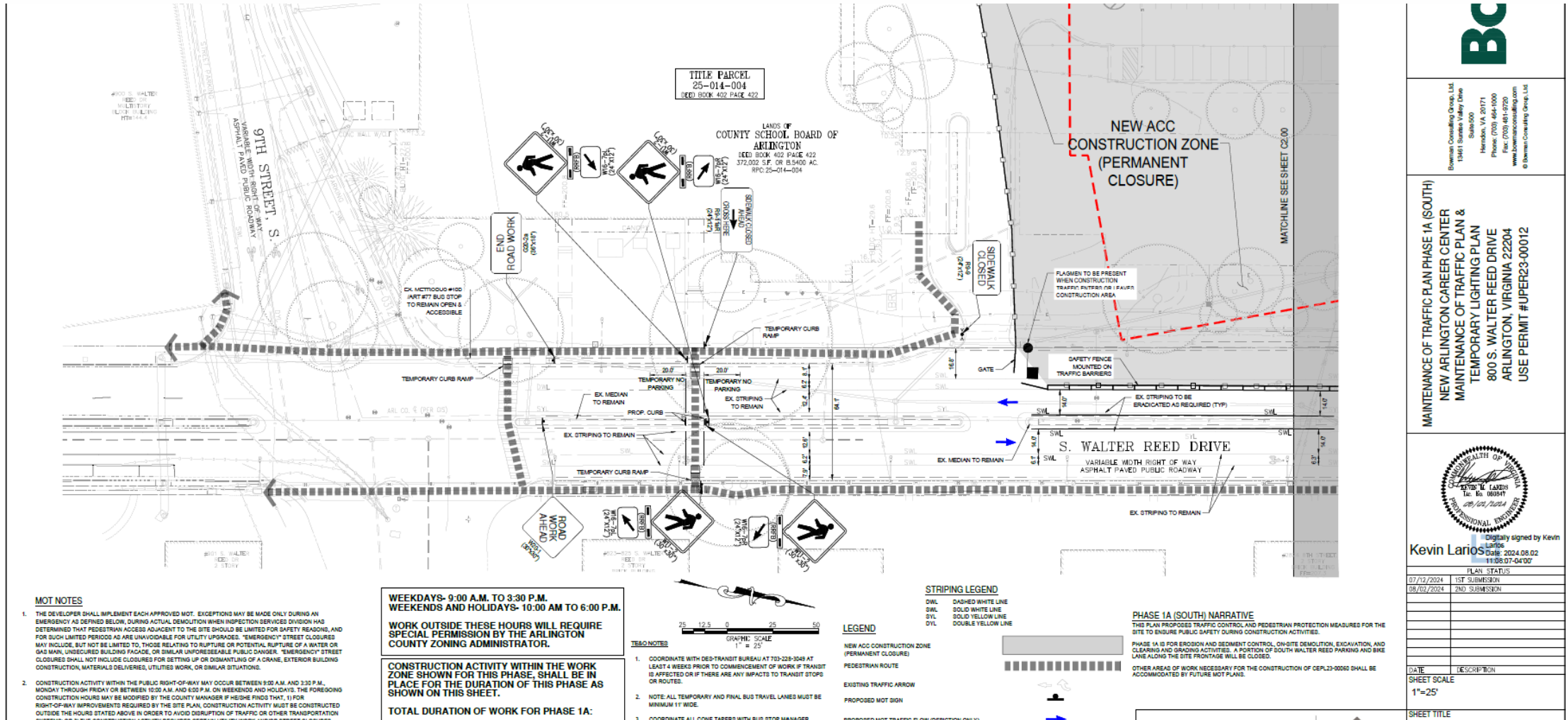
Signature signed by
Kevin Laros
Date: 2024.08.02
11:05:27-04'00'

| PLAN STATUS | |
|------------------|----------------|
| 07/13/2024 | 1ST SUBMISSION |
| 08/02/2024 | 2ND SUBMISSION |
| DATE DESCRIPTION | |
| SHEET SCALE | |
| 1"=25' | |

SHEET TITLE
MAINTENANCE OF TRAFFIC PLAN
PHASE 1A (NORTH)



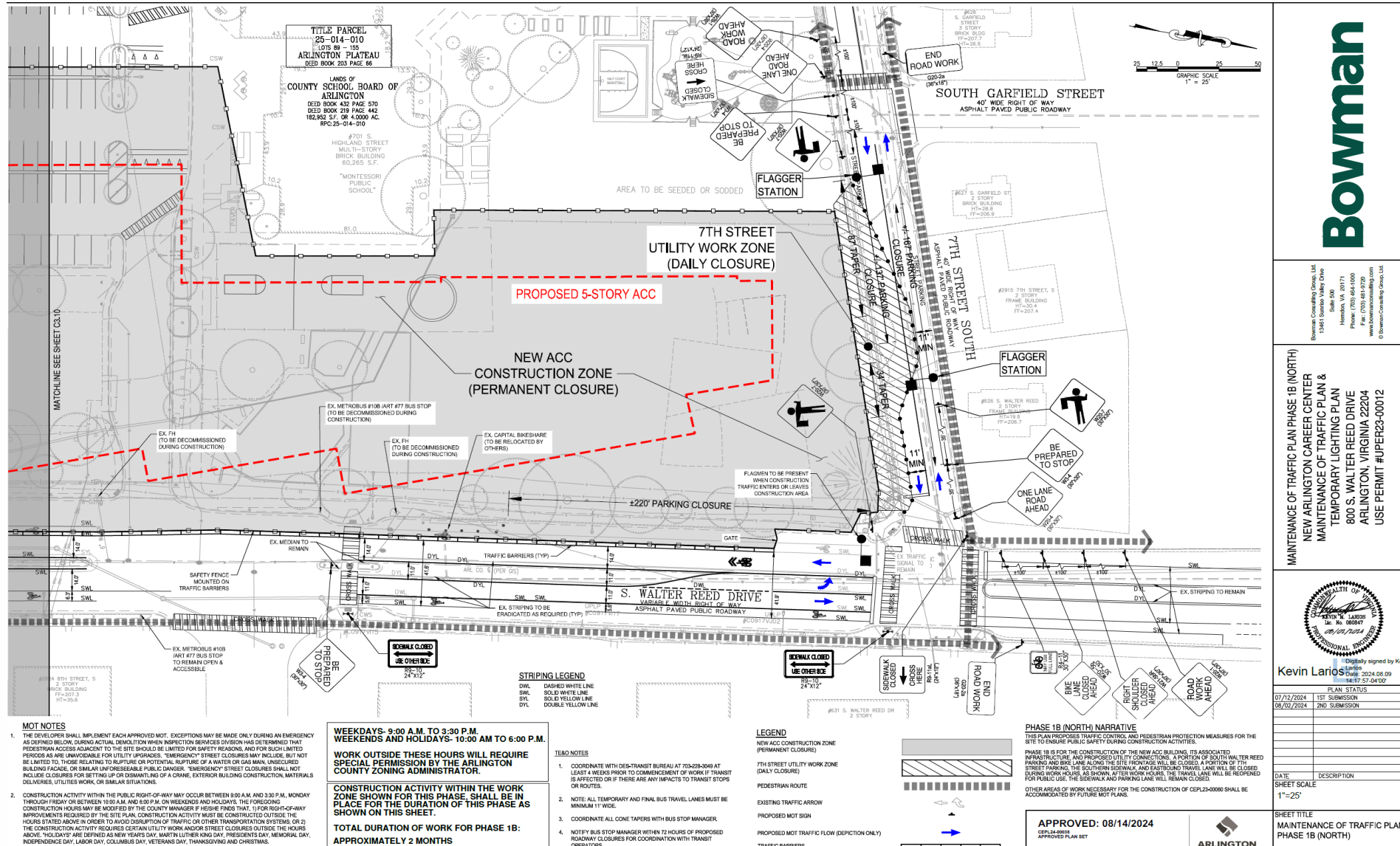
Phase 1A Maintenance of Traffic Plan South



Phase 1B Maintenance of Traffic (MOT) Plan

- All Phase 1A MOT Plan elements are still in place during this Phase
- Phase 1B MOT Plan accommodates utility tie-ins at 7th St S.
- During Phase 1B a portion of 7th St S street parking, the southern sidewalk, and eastbound travel lane will be closed during work hours. After work hours, the travel lane will be re-opened for public use, the sidewalk and parking lane will remain closed
- Pedestrians will be informed via signage of the parking and sidewalk closure on the south side of 7th St S. Signage and flaggers will direct traffic during the eastbound travel lane closure
- Now that Right of Way (ROW) permit associated with this MOT Plan is approved, the work is scheduled for 1/27-2/7, subject to extension for weather or other unforeseen conditions

Phase 1B Maintenance of Traffic Plan North



Bowman

Bowman Consulting Group, Ltd.
13461 Sunrise Valley Drive
Suite 500
Falls Church, VA 22041
Phone: (703) 664-0000
Fax: (703) 664-0700
www.bowmanconsulting.com
© Bowman Consulting Group, Ltd.

MAINTENANCE OF TRAFFIC PLAN PHASE 1B (NORTH)
NEW ARLINGTON CAREER CENTER
MAINTENANCE OF TRAFFIC PLAN &
TEMPORARY LIGHTING PLAN
800 S. WALTER REED DRIVE
ARLINGTON, VIRGINIA 22204
USE PERMIT #PER23-00012



Kevin Laros
08/14/2024
1441757-04007

PLAN STATUS
07/12/2024 1ST SUBMISSION
08/07/2024 2ND SUBMISSION

DATE
08/14/2024

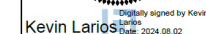
DESCRIPTION
MAINTENANCE OF TRAFFIC PLAN PHASE 1B (NORTH)

SHEET SCALE
1"=25'

SHEET TITLE
MAINTENANCE OF TRAFFIC PLAN PHASE 1B (NORTH)



MAINTENANCE OF TRAFFIC PLAN PHASE 1B (SOUTH)
NEW ARLINGTON CAREER CENTER
MAINTENANCE OF TRAFFIC PLAN &
TEMPORARY LIGHTING PLAN
800 S. WALTER REED DRIVE
ARLINGTON, VIRGINIA 22204
USE PERMIT #UPR23-00012



| | |
|--|--|
| | |
| | |
| | |
| | |
| | |
| | |

| | |
|---|-------------|
| DATE | DESCRIPTION |
| SHEET SCALE | |
| 1"=25' | |
| SHEET TITLE | |
| MAINTENANCE OF TRAFFIC PLAN PHASE 1B (SOUTH) | |

- 
- ARLINGTON

Phase 1C Maintenance of Traffic (MOT) Plan

- All Phase 1A MOT Plan elements are still in place during this Phase
- Phase 1C accommodates median removal on S Walter Reed Dr adjacent to project site
- The duration of the Phase 1C work is approximately 2 months, most likely starting in March 2025.
- A Right of Way (ROW) permit will need to be approved prior to start of work. Anticipating ROW permit submission in late January with approval in late February.

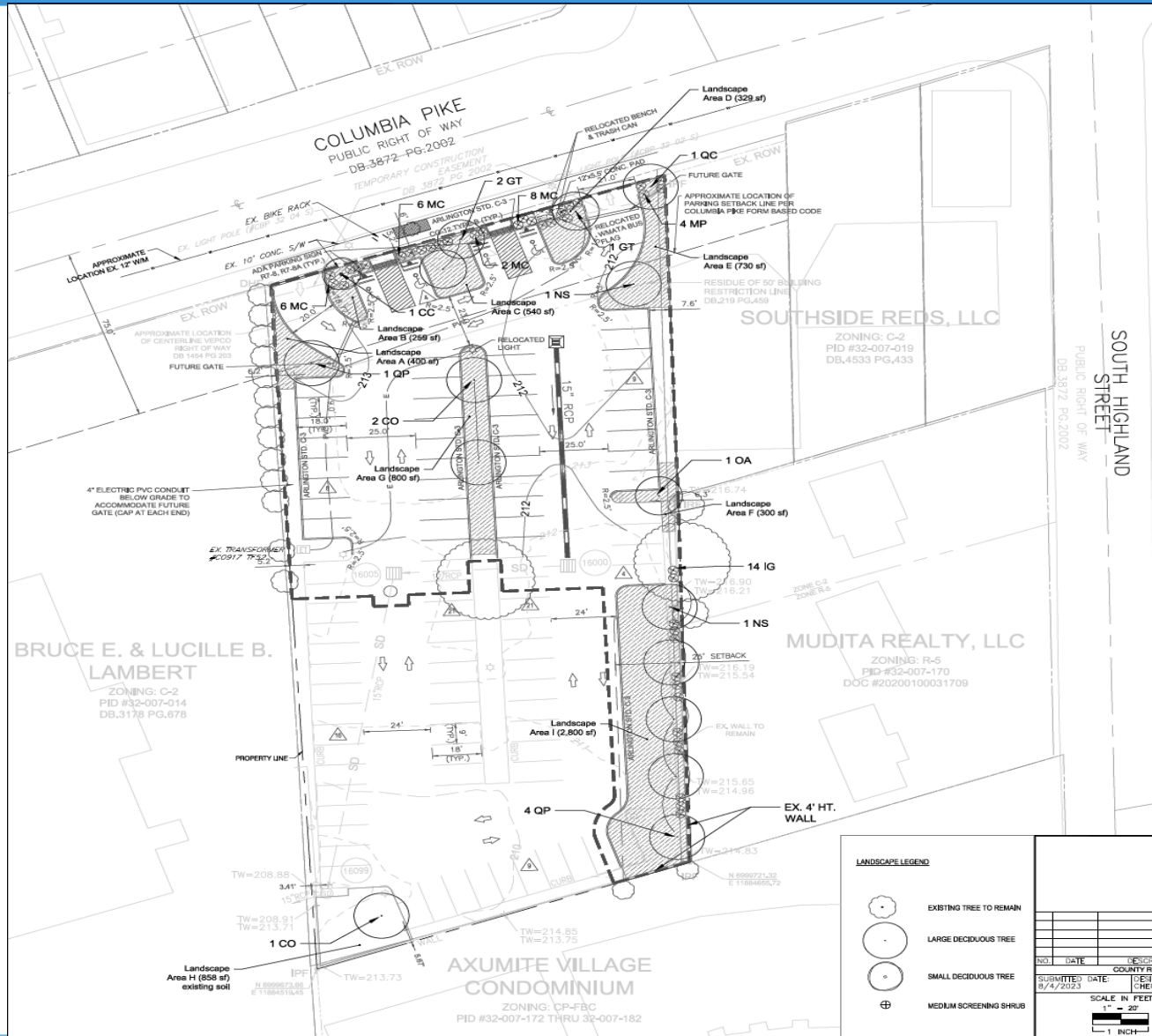
Construction Issues - Contractor Parking

- County is providing use of a 92 space surface parking lot at 3108 Columbia Pike (former SunTrust Bank building).
- lot is now being used by the Contractor. Contractor has installed access gates at the entries and signage restricting use to contractor forces only for the duration of construction.
- Contractor will start locking gates if needed as well as enforcing towing to ensure the full complement of parking spaces is available in the lot for construction workers in their efforts to keep workers from parking on neighborhood streets
- Contractor is responsible for procuring and policing any additional parking required to meet their needs. The site excavation subcontractor, for example, is currently leasing approximately 30 spaces of surface parking at a nearby lot.





Contractor Parking at 3108 Columbia Pike



| ON-SITE TREE SOIL VOLUME CALCULATIONS | | | |
|---------------------------------------|------------|----------------------|-------------------------------|
| PLANTING AREA | # OF TREES | SOIL VOLUME PROVIDED | REQUIRED SOIL VOLUME PER TREE |
| A | 1 | 1200 CF | 1200 CF |
| B | 1 | 777 CF | 600 CF |
| C | 2 | 1620 CF | 810 CF |
| D | 1 | 987 CF | 750 CF |
| E | 2 | 2190 CF | 1095 CF |
| F | 1 | 765 CF | 750 CF |
| G | 2 | 2,400 CF | 1,200 CF |
| H | 1 | 1,716 CF | 1,200 CF |
| I | 5 | 8,400 CF | 1,680 CF |

| CANOPY CALCULATIONS | |
|---|-------------|
| CANOPY CALCULATION (SQUARE FEET) | |
| PARCEL SIZE | 43,165 SF |
| TREE CANOPY REQUIRED (10%) | 4,317 SF |
| LARGE CANOPY TREE CONSERVED (X2 BONUS) | 0 |
| SMALL CANOPY TREE CANOPY CONSERVED | 0 |
| TREE CANOPY REMAINING TO PLANT | 4,317 SF |
| TREE CANOPY PLANTED | 5,381.25 SF |
| TOTAL TREE CANOPY (CONSERVATION AND PLANTING) | 5,381.25 SF |

| TREE REPLACEMENT CALCULATIONS | |
|-----------------------------------|----|
| SEE TREE INVENTORY ON SHEET C-900 | |
| REPLACEMENT TREES REQUIRED | 7 |
| REPLACEMENT TREES PROVIDED | 10 |

| TREE PLANTING CALCULATIONS | | | | | | | | | |
|----------------------------|------------------------|---------------------------|---------------|--------|----------|----------|----------------|--------------|-------------------|
| SYMBOL | SPECIES | COMMON NAME | SIZE | AMOUNT | SPACING | COVERAGE | TOTAL COVERAGE | COMMENTS | REPLACEMENT TREES |
| CC | CELTIS OCCIDENTALIS | COMMON HACKBERRY | 3/4-2" CAL. | 3 | PER PLAN | 393.75 | 1181.25 | | 3 |
| CO | CERCIS CANADENSIS | EASTERN REDBUD | 1 3/4-2" CAL. | 1 | PER PLAN | 137.50 | 137.50 | SINGLE TRUNK | |
| GT | GLEDTISIA TRIACANTHOS | SHADEMASTER HORNYLOUST | 3/4-2" CAL. | 3 | PER PLAN | 312.50 | 937.50 | | |
| NS | NYSSA SYLVATICA | TUPELO | 1 3/4-2" CAL. | 2 | PER PLAN | 312.50 | 625.00 | | 2 |
| OA | OXYDENDRUM ARBOREUM | SOURWOOD | 1 3/4-2" CAL. | 1 | PER PLAN | 137.50 | 137.50 | | |
| QC | QUERCUS COCCINEA | SCARLET OAK | 3/4-2" CAL. | 1 | PER PLAN | 393.75 | 393.75 | | |
| QP | QUERCUS PHellos | WILLOW OAK | 1 3/4-2" CAL. | 5 | PER PLAN | 393.75 | 1968.75 | | 5 |
| SHRUB PLANTING | | | | | | | | | |
| MC | MORELLA GERIFERA | DON'S DWARF SOUTHERN HAWK | 24-30" | 26 | PER PLAN | | | FULL | |
| IG | ILEX GLABRA 'SHAMROCK' | SHAMROCK HOBERRY | 24-30" | 14 | PER PLAN | | | FULL | |
| TOTAL: | | | | | | | 5381.25 | | 10 |

- TREE PLANTING
- PLANTS SHALL BE FURNISHED AND INSTALLED AS INDICATED ON THE LANDSCAPE PLAN.
 - PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY AND COMPLY WITH MOST RECENT ANSI Z60.1 STANDARDS.
 - PLANTS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE-DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD SHALL BE REJECTED. ALL PLANTS KEPT ON SITE FOR ANY PERIOD SHOULD BE WATERED AND CARED FOR USING ANSI A300 STANDARDS.
 - NO STAKES SHALL BE USED TO STABILIZE TREES, UNLESS DIRECTED BY THE ARLINGTON COUNTY URBAN FORESTER.
 - TREES PLANTED SHALL RECEIVE A 3-INCH-THICK LAYER OF SHREDDED HARDWOOD MULCH, IN A 6 FOOT RING SURROUNDING THE TREE, WITH A 6 INCH CLEAR AREA NEAR THE TRUNK.
 - PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY.
 - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOP SOIL THAT IS IN MUDDY OR FROZEN CONDITION. TREES AND SHRUBS SHALL BE INSTALLED BETWEEN 09/15 AND 12/15 OR BETWEEN 03/15 AND 06/15. CONTACT THE ARLINGTON COUNTY URBAN FORESTER TO OBTAIN A DEFERRAL OR APPROVAL FOR PLANTING OUT OF SEASON.
 - NO PLANT, EXCEPT GROUNDCOVERS, SHALL BE PLANTED WITHIN TWO FEET OF A SIDEWALK, 5 FEET FROM A FENCE, 10 FEET FROM A BUILDING, OR 15 FEET FROM OVERHEAD UTILITY LINES.
 - TREES AND SHRUBS SHALL BE PLANTED IN HOLES TWO TO THREE TIMES AS WIDE AND TO THE DEPTH OF THE ROOT BALL.
 - PLANTS SHALL BE PLANTED IN HEALTHY, UNCOMPACTED SOIL. SEE THE PLANTING DETAIL FOR SOIL SPECIFICATION.
 - SET ALL PLANTS PLUMB AND STRAIGHT AT SUCH LEVEL THAT NORMAL OR NATURAL RELATIONSHIP BETWEEN THE PLANT AND THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE THE PLANT IN THE CENTER OF THE PIT.
 - INJURED ROOTS SHALL BE PRUNED TO CLEAN ENDS BEFORE PLANTING WITH CLEAN, SHARP TOOLS. THE LEAVES OF TREES SHALL NOT BE CUT BACK.
 - AT THE END OF THE PROJECT, PRESERVED AND PLANTED TREES MUST BE INSPECTED AND APPROVED BY AN ARLINGTON COUNTY URBAN FORESTER.

Dewberry Engineers Inc.
5401 ARLINGTON BLVD.
ARLINGTON, VA 22204
PHONE: 703.848.0100
FAX: 703.848.0110

ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES

LANDSCAPE PLAN
3108 COLUMBIA PIKE DEMOLITION
3108 COLUMBIA PIKE
ARLINGTON COUNTY, VIRGINIA 22204

901 22 OF 28

ARLINGTON VIRGINIA
Department of Environmental Services

LANDSCAPE LEGEND

NO. DATE DESCRIPTION COUNTY REVISIONS BY

DESIGNED: BWS PROJECT/FILE NO. 10/2023
CHECKED: TCC L04P23-00146

SCALE IN FEET
1" = 20'
1" = 1"

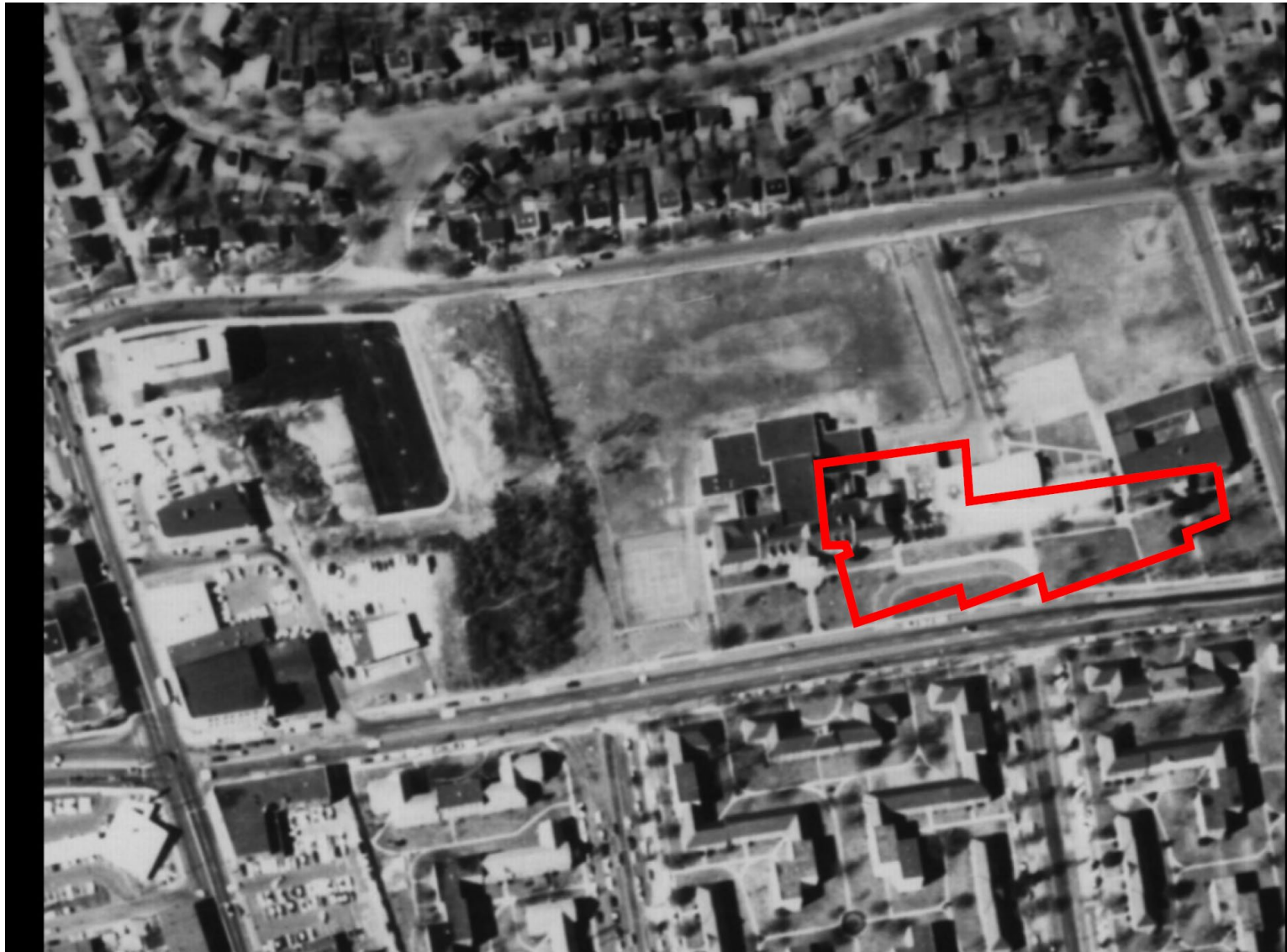
APPROVED: 02/26/2024
LAPL24-0001
APPROVED PLAN SET

ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES
PLANNING DIVISION

Construction Issues – Late Night Work

- Late night work anticipated primarily during cold weather concrete slab on grade and elevated deck pours. Unfortunately, this is unavoidable in order to progress the work and maintain project schedule
- As background, building is concrete structure instead of steel frame for better sound isolation between teaching space. This structure type was considered desirable for a Career and Technical Education (CTE) facility due to adjacencies between academic classrooms and more noise intensive shops (autobody, autotech, carpentry, etc)
- Many of the finished floors will be sealed concrete. Sealed concrete was chosen because it is durable, sustainable, cost effective, and easily maintained. Where concrete is exposed as flooring, quality of finish is important for the final product
- Pouring and finishing concrete floor decks in a timely fashion is very challenging in cold weather due to longer setup time of the concrete before troweling/finishing operations can commence
- Steps taken to help improve concrete setup time for cold weather pours:
 - For elevated decks, pre-heating of the deck below prior to the pour – contractor is tenting the area below the pour and heating it prior to and during the pour. They are also keeping insulating blankets on the deck prior to the pour to assist with heating the formwork and rebar prior to the actual placement of concrete
 - For slab on grade, pre-heating of the compacted subgrade on which the concrete is placed with heaters.
 - Cold weather concrete mix design – currently using a mix design with accelerants in it to improve cure time
 - Concrete is being placed as early in the day as possible. Unfortunately, the concrete plants can be subject to delayed openings due to cold temperatures as well.

- Old Thomas Jefferson Middle School (TJMS) was previously on the site
- New ACC footprint is shown in **bold red line** overlaid on archival photo of the site when TJMS was still there
- During demo of the old TJMS, old footing and foundations were left in place and buried



Construction Issues – Subsurface Unforeseen Conditions

- Footings/foundations from previous structures – a large quantity of footings and foundations that were left in place and buried from previous structures on the site have been encountered below grade as we dig for the new footings, foundations, and utility trenches, particularly in area A.
- Old footings/foundations removal – where old footings/foundations align with the new they must be removed and proper subgrade compaction and bearing achieved before new footings/foundations can be placed
- Pre-construction investigation for subsurface conditions – Ground Penetrating Radar (GPR) surveying and associated test pits/bores were carried out prior to construction to help identify subsurface conditions and resulted in inclusion of a contract Allowance to pay for subsurface unforeseen conditions. GPR surveying and test pits/bores are limited in their ability to locate the full extent and depth of the material encountered.
- Mitigation of cost and time for subsurface conditions - Substantial additional cost and time have been incurred in dealing with the subsurface unforeseens. Costs will be covered with existing contract contingencies, meanwhile the general contractor has been very proactive in resequencing work to mitigate schedule impacts.

- Various opportunities are being explored for involving students and staff in the facility construction
- General Contractor Whiting-Turner (W-T) will be running regular tours of the jobsite to inform students of various elements of the construction. 1st tour for Carpentry and Electrical program students is scheduled for 2/3
- W-T Site camera link shared with school administrative staff for display on Common Area video displays
- Other potential opportunities being explored:
 - Actual rough-in installation by carpentry and electrical classes
 - Trades Day
 - Media Classes/Engagement
 - Computed aided Design/Drafting
 - Culinary program commission for UVA Northern VA Tenant Improvement Project grand opening in February

Other issues noted:

- Parking on 7th St S – additional policing by contractor needed to ensure subcontractors do not park there
- School staff parking in the neighborhood – increase has been noticed
- Maintenance of Traffic (MOT) Plan notification – make sure to notify near neighbors of MOT Plans prior to enactment
- Engagement of project with students/staff – continue to keep community informed of engagement opportunities

Community Updates and Liaison

- Community updates during construction – quarterly community update meetings during construction to be held in existing ACC Commons, next update meeting will be held in mid to late April. Monthly construction updates will also be posted to the project website on or about the 1st of the month.
- Project website: <https://www.apsva.us/engage/arlington-career-center-project/>
- Community liaisons during construction
 - a. APS Project Manager:
Steve Stricker
steven.stricker@apsva.us
Cell: 571.220.0048
 - b. Onsite Construction Manager:
Keith Jones
keith.jones@turntown.com
Cell: 202.409.1769