



Notice of Addendum No.2

Date of Addendum No. 2: November 17, 2025

Arlington Public Schools
Procurement Office

Invitation to Bid 33FY26

Invitation to Bid Title: Arlington Science Focus Elementary School - Kitchen Renovation Project

Invitation to Bid Number: 33FY26

Invitation to Bid Issue Date: October 16, 2025

Pre-Bid Conference: October 23, 2025, at 1:45 PM (Local Prevailing Time) 1501 N Lincoln St, Arlington, VA 22201

Bid Closing Date/Time: ~~November 21~~ **December 03**, 2025, No Later Than 10:00 A.M. (Local Prevailing Time)

Bid Opening Date/Time: ~~November 21~~ **December 03**, No Later Than 11:00 A.M. (Local Prevailing Time)

Procurement Office Representative: Carolina Sorto
Senior Procurement Specialist
(703) 228-6193; carolina.sorto@apsva.us

The following information is provided to help bidders submit a bid in response to Bid 33FY26.

Bid Closing and Opening:

The Bid Closing is ~~Friday, November 21~~ **December 03**, 2025, no later than 10:00 A.M. (Local Prevailing Time).
The Bid Opening will be held remotely on ~~Friday, November 21~~ **December 03, 2025**, at 11:00 A.M. using Microsoft Teams.

Bidders wishing to submit a Bid in response to the ITB are required to upload the Submission Requirements found in the Instruction to Bidders into the Platform through the link found on the Current Solicitations webpage, which can be located by accessing the APS Procurement Office website. To assist Bidders with their Bid submission, screenshots of the steps required to submit a Bid are provided in this ITB.

Link to the Current Solicitations webpage: <https://www.apsva.us/procurement-office/solicitations/>

***Addendum No. 2 must be signed, dated, and submitted via the secure cloud-based file sharing platform specified in the ITB prior to the Bid Closing Date/Time stated above OR acknowledgment of receipt of this Addendum may be noted on the Bid Form.**

Name of Bidder: _____

Signature: Name: _____

Title: _____

Date: _____

Number	Question	Official Response
1	The bid bonds included in the RFP list the wrong project name and number. Please provide updated bid bond forms for this project.	Corrected
2	Are Subcontractors able to attend the Pre-Bid Conference in order to walk the site after or will there be a separate site visit scheduled?	Subcontractors can attend the site visit
3	Will the temporary kitchen/cafeteria be in the cafeteria or outside?	The temporary kitchen equipment will be set up within the existing cafeteria space. The work to install the infrastructure will likely occur during APS Spring Break and APS will plug in the equipment the week before it is needed. APS will supply all equipment.
4	Will there be a need for temperature cooling stations?	Please confirm if the temperature cooling stations in question is item #20 - Pass-Thru Refrigerator, Mobile (refer to sheet K-101). If not please provide clarification for this question.
5	Where is the access to the roof?	Existing roof access is located within Janitors room 134.
6	Were there any assessments done on the roof before the design?	Yes, a Roof Analysis / Inspection was done. APS to provide existing roof analysis/ inspection report. There will be a new roof for part of the existing building where the new mechanical RTU and CU units will be located, and the existing roof to remain will have
7	Updated plan holders/bidders list	The plan holders list, bidders list, and Non-Mandatory pre-bid attendance list can be found on the Current Solicitations page: https://www.apsva.us/procurement-office/solicitations/
8	Any information on any changes to the bid date	Both the Bid Due Date and Bid Opening dates are changed to December 3, 2025. The times remain unchanged.
9	Provide a construction cost estimate or budget range if available.	The construction cost estimate is between \$3.25M and \$3.45M.
10	Please provide a wage scale for pricing purposes.	Prevailing wage sheet provided in the addendum
11	Will AISC certification be required for structural steel installers?	Yes comply with the project specifications for AISC certification requirements
12	Typical roof opening reinforcement detail, Sheet S-003 detail 1, does not specify usage locations or minimum new opening size requiring such reinforcement. Please	This detail should be used at all opening exceeding 12" in any direction.
13	Please confirm shop drawings & calculations for structural steel & temporary shoring are required to be signed and sealed by a professional engineer.	The steel connections and joist are delegated as noted on S-001. Structural steel is not delegated. Ware not anticipating shorein on this project.
14	Please confirm new acoustical ceiling grid layout and heights are to match current heights & layout.	New acoustical grid layouts and heights shall be per reflected ceiling plan on 1/A-201. In most locations these align to existing heights, however layouts are revised.
15	Please confirm fire sprinkler shop drawing , specifications & permitting requirements.	The fire sprinkler modification is a delegated design provided by the fire sprinkler contractor and submitted to the local authority for approval. The Contractor shall obtain a copy of the necessary APS Design Standards – 2021 and guidelines require for the
16	Please confirm RCP coordination drawing requirements.	See project specifications for specific requirements. Note coordination requirements throughout specs including 01-3100
17	Specification section 09 51 00 calls for Clean Room FL acoustical ceiling tile, 2' x 2'. Sheet A-603 calls for Clean Room VL, a 2' x 4' ceiling tile. Please confirm tile	Acoustical Ceiling tiles to be per sheet A-603 and A-201 layout, Clean Room VL, 2' x 4' tile.
18	Please confirm in-wall blocking requirements for kitchen equipment & cork boards.	In-Wall blocking for kitchen equipment to be as noted on sheet K-200. Cork boards and all furnishings to have in-wall blocking per project manual 09 2116 section 3.3 B.
19	Please confirm usage location(s) of A-600 Details 4 & 5, typical coping details.	Details 4 & 5/ A-600, refer to sheets A-102 note 9 for location of detail 4/A-600. And refer to sheet A-400 & A-420 details 4 & 5 / A-420 for detail 5/A-600.

20	Please confirm if security vendor will be contracted directly by APS or by GC.	Contractor to provide all rough-ins and pathways required to install the security system. The system, itself, will be installed by APS.
21	Confirm trenching will be needed for conduit stub-ups(E9, K13, K14) as graphed on kitchen power plan detail on page E-501.	Confirmed. Coordinate most efficient conduit routing paths prior to trenching.
22	Please provide information of roofing company that carries roof warranty.	No existing/current roofing warranty for this project. Roofing warranty FOR REPAIRS should be a 2-year workmanship warranty. The new roof warranty should comply with project specifications.
23	Please provide abatement report of the existing areas of construction.	No current abatement report is available for the project at this time. The contractor should carry an allowance of \$7,500.00 for abatement scope, specifically associated with the exterior of the building, which should be considered a predecessor to completing
24	Please provide BAS controls vendor.	Automated Logic Controls Jeff A. Smidler : 804.864.2090 jeff.smidler@carrier.com Jake Pless : 703.584.8143 jacob.pless@carrier.com
25	TS-3 Schluter E80 transition strip is called to be installed at exposed wall tile locations. Schluter E80 is thicker than the specified Marlite FRP wall tile, please confirm	TS-3 Schluter is for Ceramic Wall Tile exposed edges. FRP trim is acceptable per project manual section 09 7700.
26	Please confirm hollow metal door frames are to be welded.	Refer to spec "08 11 10 - Standard Steel Doors and Frames". Door frames are to welded unit type.
27	Please confirm SFIC cores are to be keyed by manufacturer.	APS will procure and supply the permanent cores for the project. The contractor should coordinate with APS to ensure the proper hardware is purchased to receive the final cores. The contractor shall turn over all doors with one construction core per door lock
28	Please confirm interior wall finishes in new building addition.	Wall finish is to be T-2 (FRP) with wall base WB-1. This is part of the "Kitchen Area" refer to sheet A-110
29	Please confirm floor finishes in new building extension, under new walk-in cooler & freezer.	Sheet A-110 shows the floor to be T-1. For the Walk-in cooler/freezer sheet K-201 notes the inside of these units to be 3/16" Diamond tread floor panels by walk-in MFR. Under walk-in cooler/ freezer is a depressed concrete slab for the units to sit directly ontop,
30	Interior finish schedule references T-3 FRP tile for restroom use, but plan & elevations call for T-2. Please confirm bathroom finishes & usage location(s) for T-3.	See Addendum #1 sheet A-110 & A-603 with updated interior finishes.
31	Sheet A-603 room finish schedule references room 106, corridor, which is not indicated on A-110 finish plan. Please confirm location of room 106 & desired finishes.	See Addendum #1 sheet A-110 referenced corridor 106 area.
32	Sheet C300 notes work to be completed under separate permit. Please confirm if associated work is to be included under this proposal.	Confirmed, See Addendum #1 with additional Civil sheets
33	Please provide details for vertical transitions between lower ACT ceilings and higher gypsum bulkheads.	Confirmed, See Addendum #1 with additional Civil sheets
34	Please provide additional section details for roof & slab where new building addition meets existing.	See Addendum #1 sheet A-201 detail 2/A-201
35	Please clarify temporary kitchen facility utility requirements to be included in this proposal.	Confirmed
36	Please clarify facility requirements for phasing plan, including desired scope & timeframe per phase.	The contractor should comply with the milestones in the ITB document. A possible sequencing scenario could be to complete the work associated with the new parking spots in the turnaround area of the school simultaneously with the work associated with 4 CU's serving the Walk-in Cooler and Freezer: walk-in cooler and freezer condensing unit information is shown as items #3: Cooler Redundant Refrigeration System and #4: Freezer Redundant Refrigeration System in the bid specs "11 40 00 - Food Service
37	Please provide specifications or a schedule with specifications for all (5) new condensing units on roof.	1 CU serving the Dry Goods Storage Room: DSS-1 outdoor condensing unit tagged as CU-1; provide Mitsubishi Model PUZ-A18 (to match indoor unit). Model number is added to the schedule on sheet M-401.
38	Please provide detail where new building is touching existing building. Will it require expansion joint or caulk?	See Addendum #1 sheet A-420

There is no existing geotechnical report for this specific portion of the school property. Contractor should assume no more than 1' of additional uncutting will be needed to complete the work.



COMMONWEALTH of VIRGINIA
DEPARTMENT OF LABOR AND INDUSTRY

Gary G. Pan
COMMISSIONER

Main Street Centre
600 East Main Street, Suite 207
Richmond, Virginia 23219
PHONE (804) 371-2327
FAX (804) 371-6524

Virginia Department of Labor and Industry Wage Determination Decision

Project Name Arlington Science Focus Elementary
School - Kitchen Renovation Project
State Project Code APS-25-138938
DOLI Project Number APS-25-0005
County or Independent City Arlington County
Publication Date 11/12/2025
Construction Type Building

Wage Determinations	Wage	Fringe
Asbestos Worker/Heat & Frost Insulator (Duct, Pipe & Mechanical System Insulation)*	\$40.77	\$20.17
Boilermaker	\$38.97	\$27.39
Brick Pointer/Caulker/Cleaner	\$19.68	
Bricklayer	\$38.80	\$15.17
Carpenter (Includes Acoustical Ceiling Installation, Drywall Hanging, and Form Work)	\$23.36	\$5.20
Cement Mason/Concrete Finisher	\$21.94	\$3.36
Drywall Finisher/Taper	\$29.16	\$11.86
Electrician (Includes Low Voltage Wiring and Installation of Alarms and Sound and Communication Systems)	\$53.00	\$21.35
Firestopper**	\$30.21	\$10.43
Floor Layer: Soft Floors	\$18.75	
Glazier	\$32.41	\$14.46
Ironworker, Ornamental and Structural	\$37.86	\$25.86
Ironworker, Reinforcing	\$27.46	\$8.71

Wage Determinations	Wage	Fringe
Laborer: Common or General, including brick mason tending and cement mason tending	\$15.55	\$2.44
Laborer: Pipelayer	\$16.81	\$4.26
Laborer: Siding Installation (Includes Rainscreens)	\$23.36	\$5.20
Marble Finisher	\$28.85	\$12.55
Mason – Stone	\$45.65	\$21.21
Operator: Backhoe/Excavator/Trackhoe	\$23.50	\$4.50
Operator: Bobcat/Skid Steer/Skid Loader	\$18.95	\$4.03
Operator: Bulldozer	\$21.99	\$4.98
Operator: Crane	\$30.45	\$4.14
Operator: Forklift	\$21.56	\$7.57
Operator: Loader	\$22.26	\$3.57
Operator: Roller	\$16.25	\$4.88
Painter (Brush, Roller, and Spray)	\$29.16	\$11.86
Pipefitter (Includes HVAC Pipe, Unit and Temperature Controls Installations)***	\$55.00	\$24.46
Plumber****	\$53.30	\$23.71
Rofer	\$15.83	\$3.06
Sheet Metal Worker (Includes HVAC Duct Installer)*****	\$47.92	\$22.72
Sprinkler Fitter (Fire Sprinklers)	\$42.32	\$26.39
Tile Finisher	\$23.40	
Tile Setter	\$27.80	\$10.25
Truck Driver: Dump Truck	\$19.22	\$2.58
Waterproofer	\$21.75	\$1.57

Asbestos Worker/Heat & Frost Insulator (Duct, Pipe & Mechanical System Insulation) PAID HOLIDAYS: New Year's Day, Martin Luther King Day, Memorial Day, Independence Day, Labor Day, Veterans' Day, Thanksgiving Day, the day after Thanksgiving and Christmas Day provided the employee works the regular work day before and after the paid holiday. *

Firestopper Includes the application of materials or devices within or around penetrations and openings in all rated wall or floor assemblies, in order to prevent the passage of fire, smoke or other gases. The application includes all components involved in creating the rated barrier at perimeter slab edges and exterior cavities, the head of gypsum board or concrete walls, joints between rated wall or floor components, sealing of penetrating items and blank openings. PAID HOLIDAYS: New Year's Day, Martin Luther King Day, Memorial Day, Independence Day, Labor Day, Veterans' Day, Thanksgiving Day, the day after Thanksgiving and Christmas Day provided the employee works the regular work day before and after the paid holiday. **

Pipefitter (Includes HVAC Pipe, Unit and Temperature Controls Installations) PAID HOLIDAYS: New Year's Day, Martin Luther King's Birthday, Memorial Day, Independence Day, Labor Day, Veterans' Day, Thanksgiving Day and the day after Thanksgiving and Christmas Day.***

****Plumber**** PAID HOLIDAYS: New Year's Day, Martin Luther King's Birthday, Memorial Day, Independence Day, Labor Day, Veterans' Day, Thanksgiving Day and the day after Thanksgiving and Christmas Day.****

*****Sheet Metal Worker (Includes HVAC Duct Installer)***** PAID HOLIDAYS: New Year's Day, Martin Luther King's Birthday, Memorial Day, Independence Day, Labor Day, Veterans' Day, Thanksgiving Day and the day after Thanksgiving and Christmas Day.*****

Additional Notes

All rates are determined by DOLI and any appeals of specific classifications may be made through the Wage Determination Appeal form available at <https://www.doli.virginia.gov/wp-content/uploads/2022/05/Appeal-for-Clarification-of-Wage-Determination.pdf>

Any additional classifications may be requested through the Additional Wage Classification form available at <https://www.doli.virginia.gov/wp-content/uploads/2022/10/Request-for-Additional-Wage-Classification-10-2022.pdf>

Understand your duties as a contractor under Virginia law by referencing our Contractor Responsibilities information sheet available at <https://doli.virginia.gov/prevaling-wage-law/#CR>

Your employees have specific rights, which can be found on our List of Employee Rights information sheet available at <https://doli.virginia.gov/prevaling-wage-law/#ERB>

Any further questions should be directed to PrevailingWage@doli.virginia.gov



ARLINGTON SCIENCE FOCUS ELEMENTARY SCHOOL SUMMARY REPORT

Arlington Science Focus Elementary School located at 1501 N. Lincoln Street in Arlington, Virginia is a multi-story, brick and block masonry structure with 53,950 square feet of roofing systems. The existing low slope roof systems total approximately 52,250 square feet and the steep slope roof systems total approximately 1,700 square feet.

The low slope roof system types and square footage are as follows:

- BUR asphalt roofs with gravel surfacing – 52,250 square feet

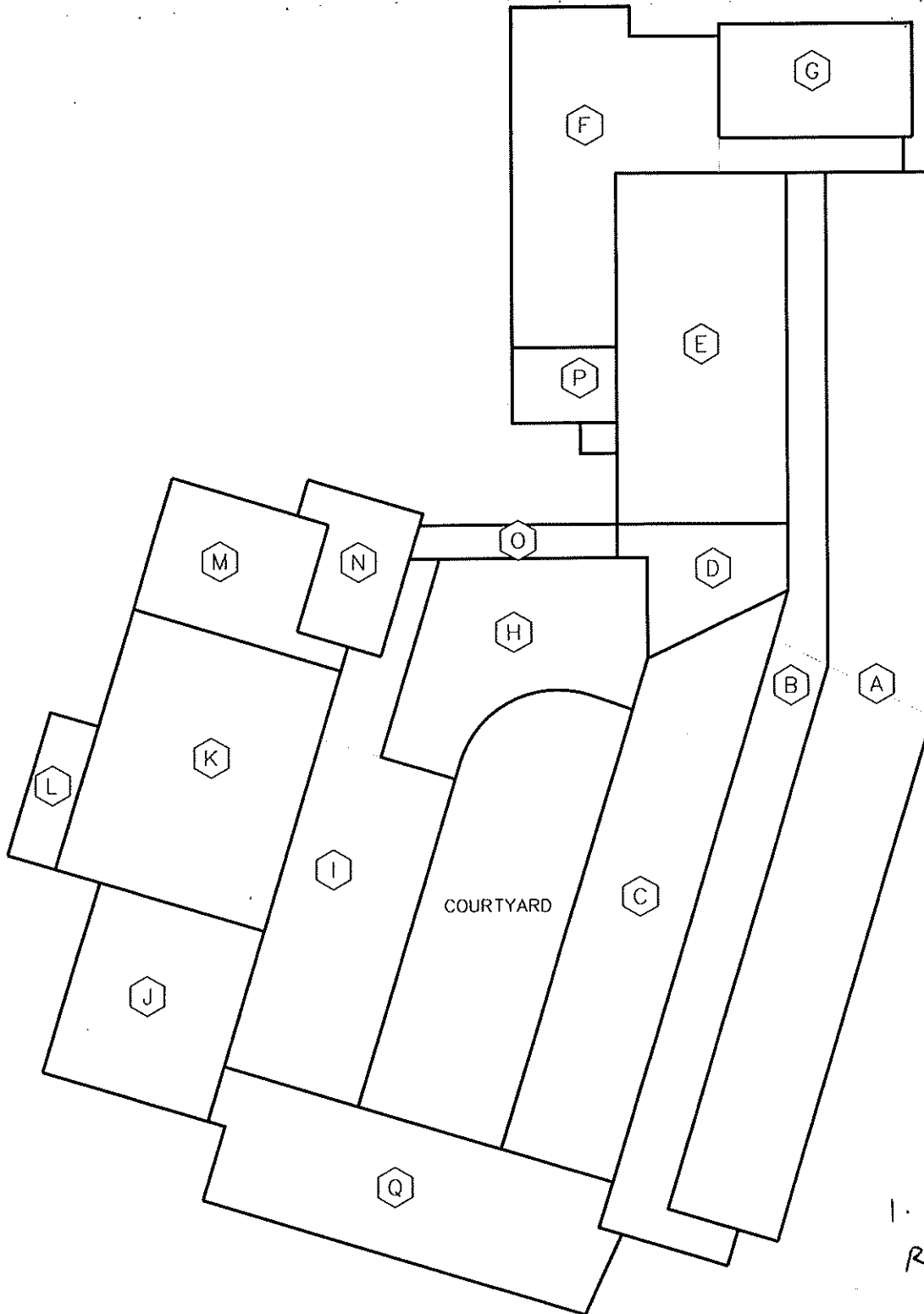
The steep slope roof system type and square footage is as follows:

- STANDING SEAM METAL roof sections – 1,700 square feet

The results of GALE's roof condition survey of the school using RoofPro's Roof Condition Index (RCI) are as follows:

- BUILT-UP ASPHALT roof sections are in generally GOOD condition and require semi-annual inspection and maintenance only.
- STANDING SEAM METAL roof sections are in generally VERY GOOD condition and require semi-annual inspection and maintenance only.

An APS-supplied roof area plan, field survey worksheets, section plans, photos and a detailed spreadsheet with budget costs follow this Summary Report.



1.7.10
RTB

ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING.



Gale Associates, Inc.
Engineers Architects Planners

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ARLINGTON PUBLIC SCHOOLS ROOF INSPECTIONS

ARLINGTON SCIENCE FOCUS ELEMENTARY SCHOOL

PROJ. NO:

670438

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PHOTOGRAPHIC DOCUMENTATION



Photo 1: Overall roof area plan



Photo 2: Extensive roof drain repair work on Area F

PHOTOGRAPHIC DOCUMENTATION



Photo 3: Moderate debris/vegetation on Area B

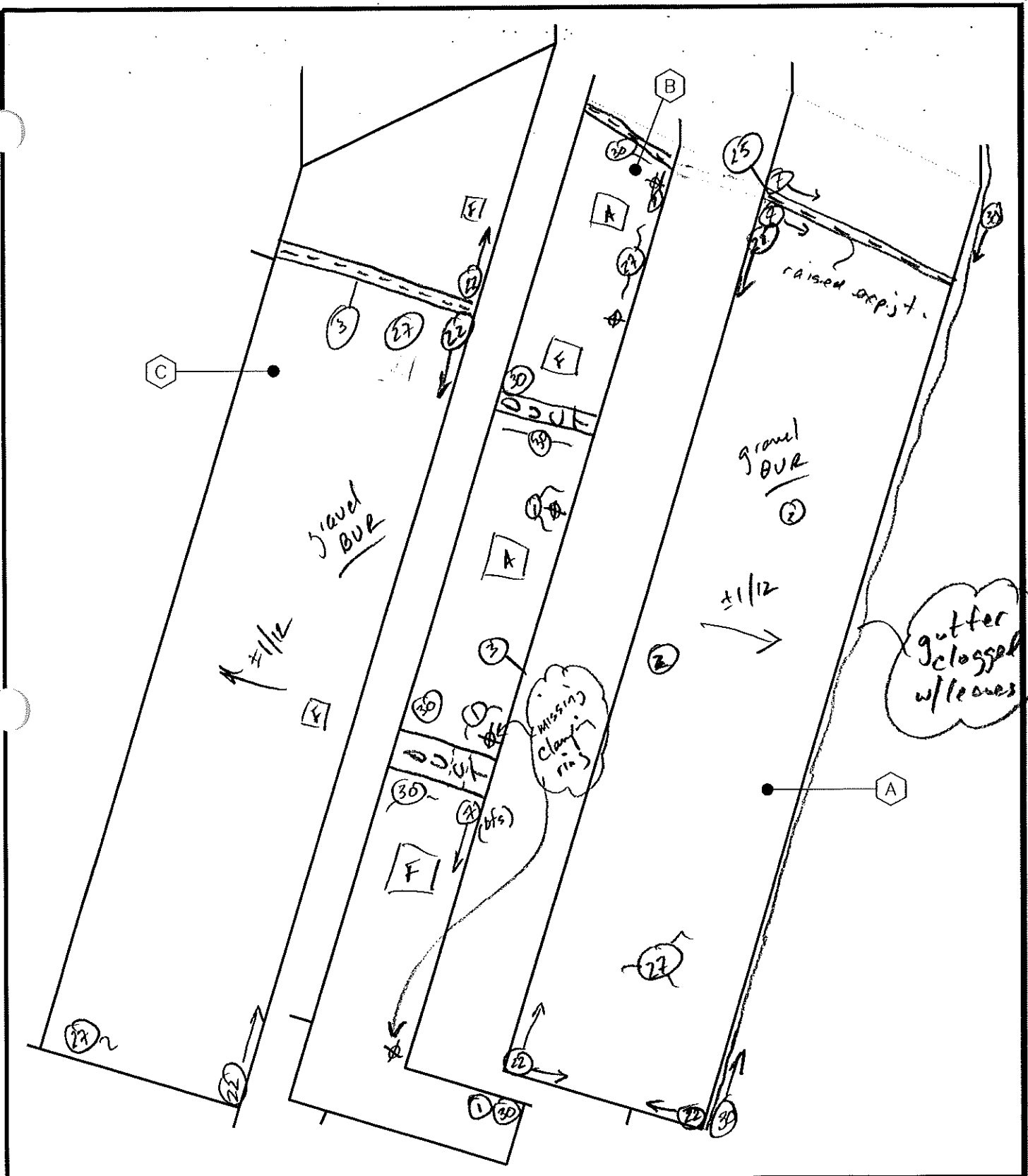


Photo 4: Barrel roof standing seam minor missing snowguards on Area N.

ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	A
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	9,000	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Roof edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	N/A			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/2-inch per foot / gutters and downspouts			
Roof Leak/Repair History	No leaks reported / isolated repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Good – minor alligatoring, exposed felts, slipped gravel surfacing 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Very good – good slope to gutters, vegetation in gutters 			71 – 85
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



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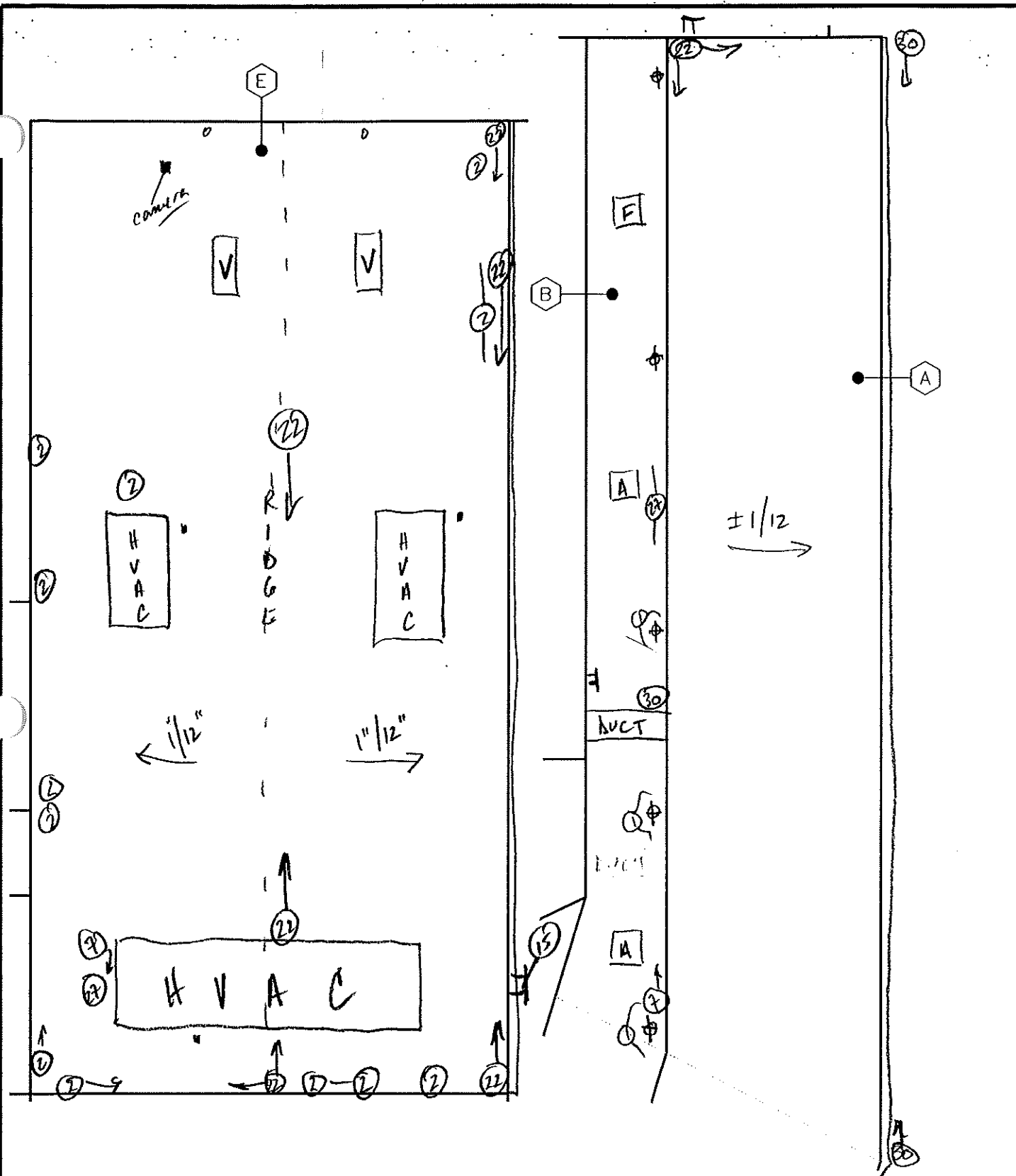
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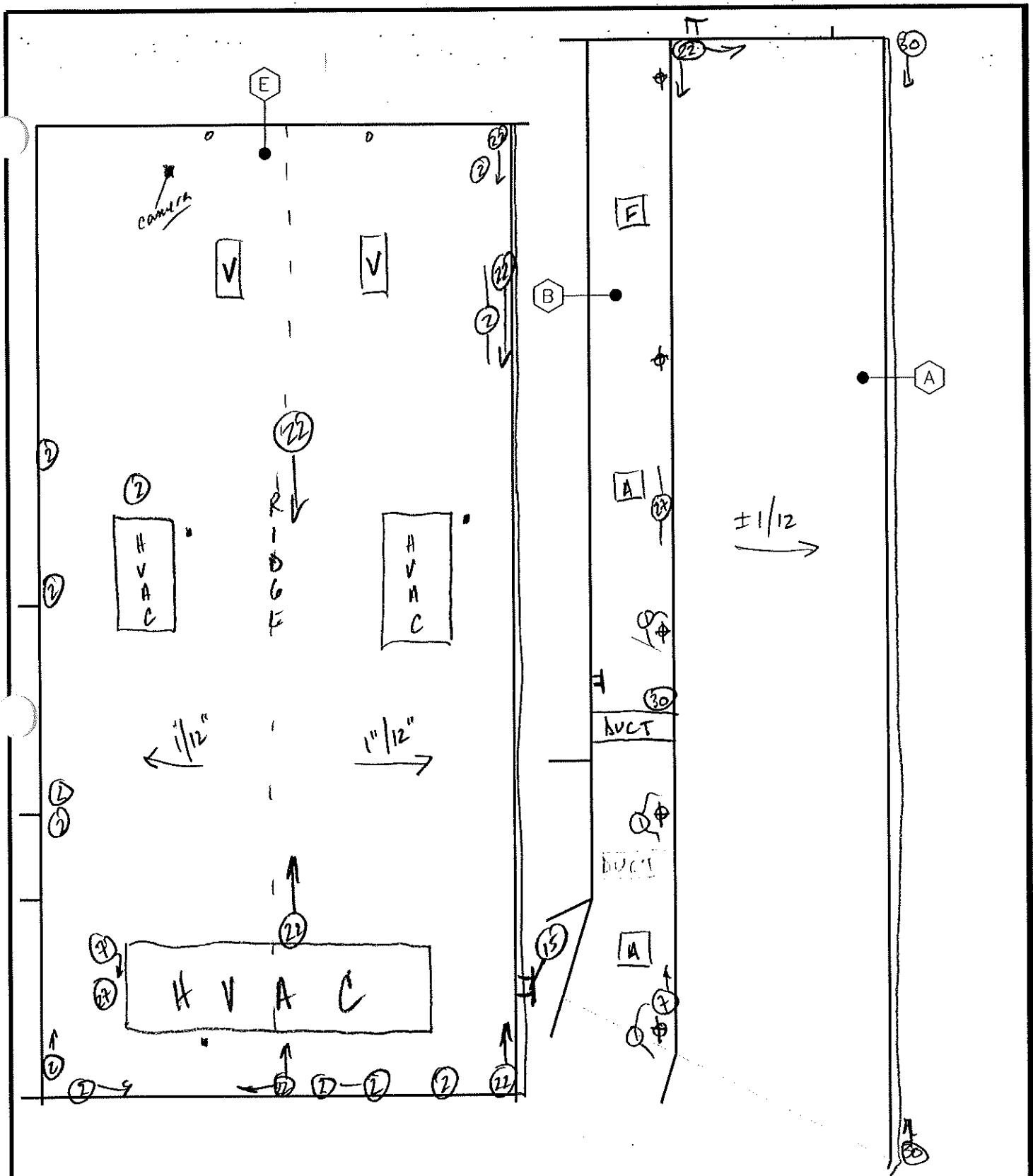
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 Gale Associates, Inc. Engineers Architects Planners 1122 Kenworthy Drive, Suite 206 Towson, Md 21204-2143 P 443-279-4500 F 443-279-4560 www.gainc.com Boston Baltimore Orlando San Francisco	ARLINGTON PUBLIC SCHOOLS ROOF INSPECTIONS				DATE:	
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ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	B
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	4,500	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Rising walls			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	Flush seam metal panels / brick masonry			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/4-inch per foot / internal drains			
Roof Leak/Repair History	No leaks reported / drain sump repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Good – minor alligatoring, exposed felts 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Good – debris, vegetation at roof drains 			56 – 70
Rising Walls	<ul style="list-style-type: none"> Good 			71 – 85
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



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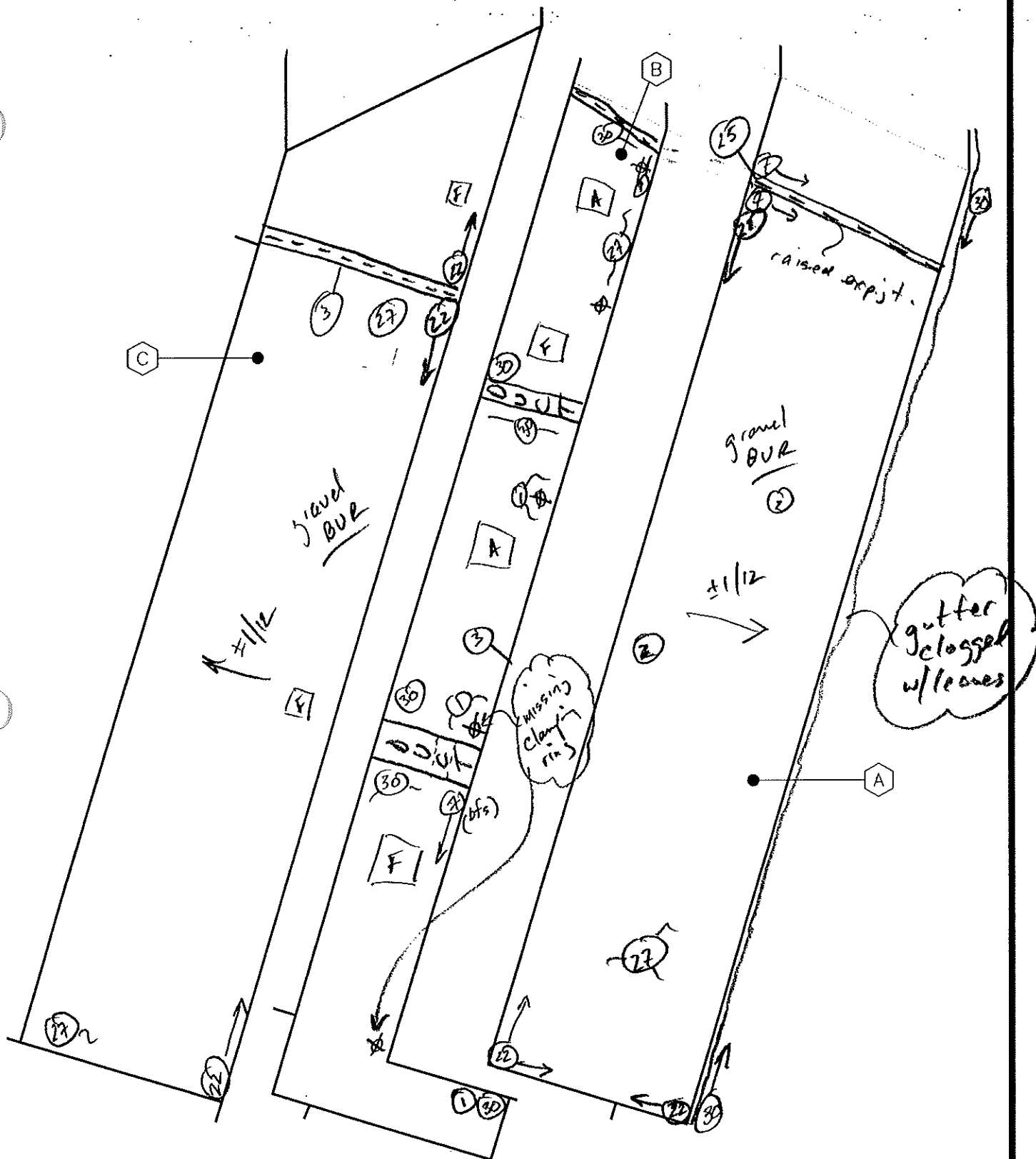
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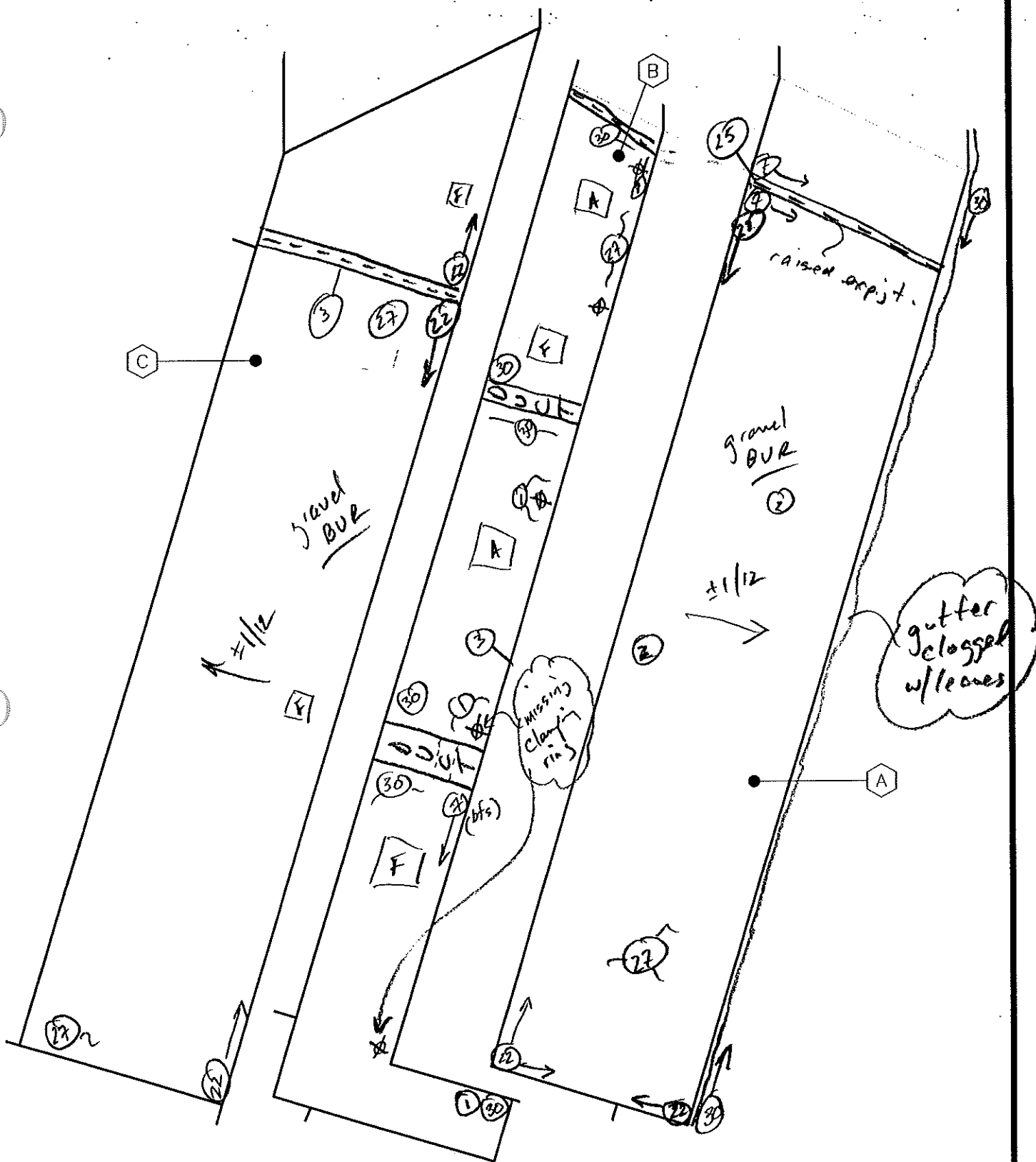
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ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	C
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	5,000	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Roof edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	N/A			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/2-inch per foot / gutters and downspouts			
Roof Leak/Repair History	No leaks reported / edge stripping repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Good – minor alligatoring, exposed felts, slipped gravel surfacing 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Very good – good slope to gutters, vegetation in gutters 			71 – 85
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



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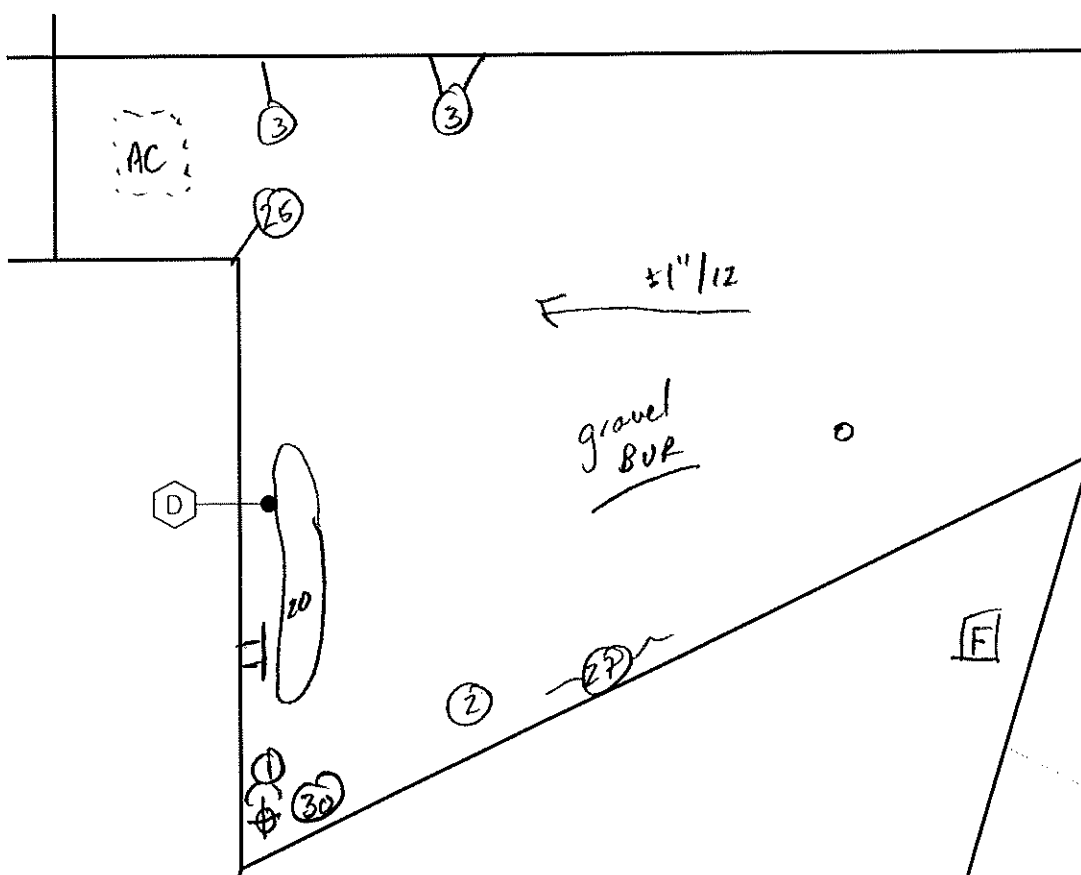
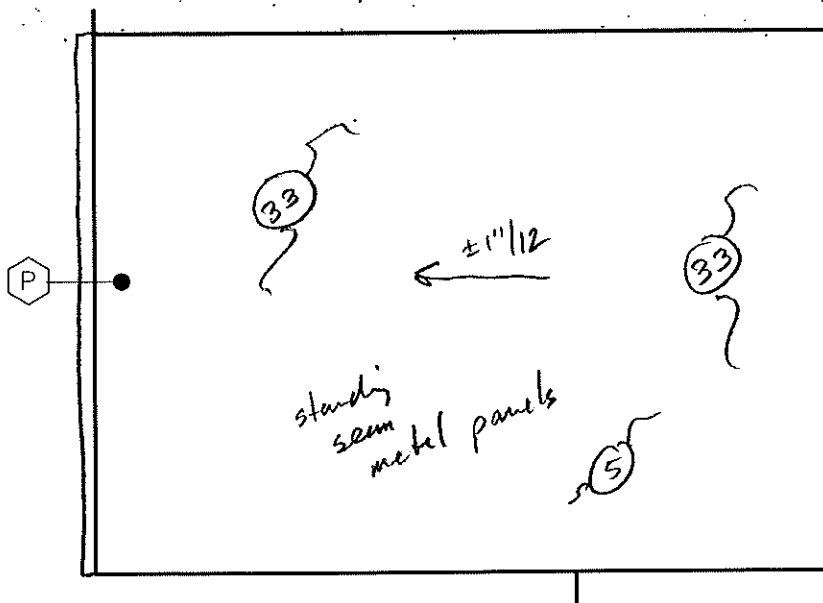
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ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	D
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	1,200	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Roof edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	N/A			
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Membrane	<ul style="list-style-type: none"> Good – minor alligatoring, exposed felts, slipped gravel surfacing 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated, minor blisters at base flashings 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Fair – areas of ponding water 			41 -55
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING.

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ARLINGTON PUBLIC SCHOOLS
ROOF INSPECTIONS

ARLINGTON SCIENCE FOCUS
ELEMENTARY SCHOOL

PROJ. NO:

670438

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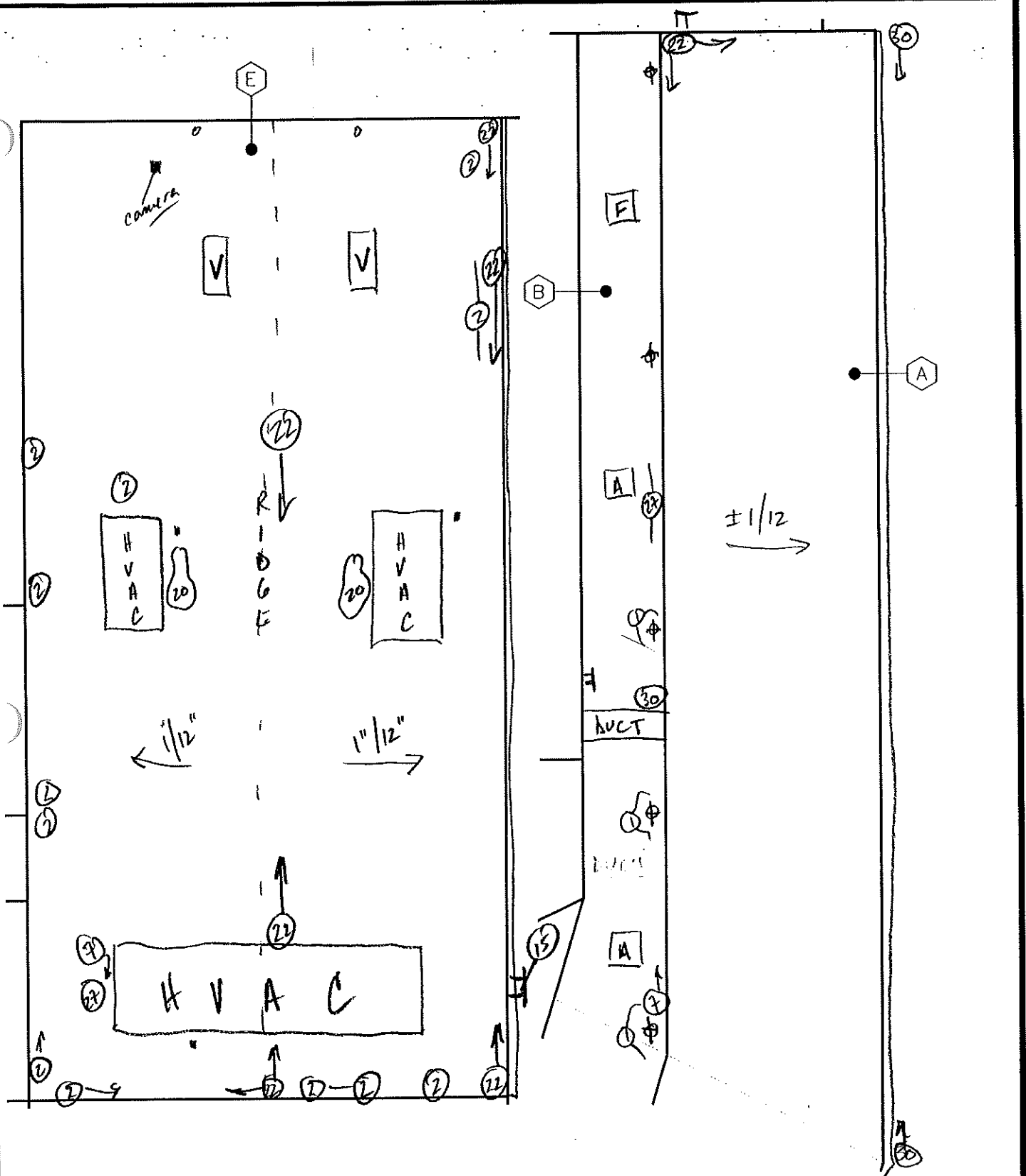
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OF

ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	E
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	4,600	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Gutter edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	N/A			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/2-inch per foot / gutters and downspouts			
Roof Leak/Repair History	No leaks reported / edge strippings repairs noted			
General Conditions			Rating	
Membrane	<ul style="list-style-type: none"> Good – minor alligating, exposed felts, slipped gravel surfacing 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Good – HVAC units missing upslope crickets, ponding water 			56 – 70
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



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ARLINGTON PUBLIC SCHOOLS ROOF INSPECTIONS

ARLINGTON SCIENCE FOCUS ELEMENTARY SCHOOL

PROJ. NO:	DRAWN	REVIEWED	CADD FILE
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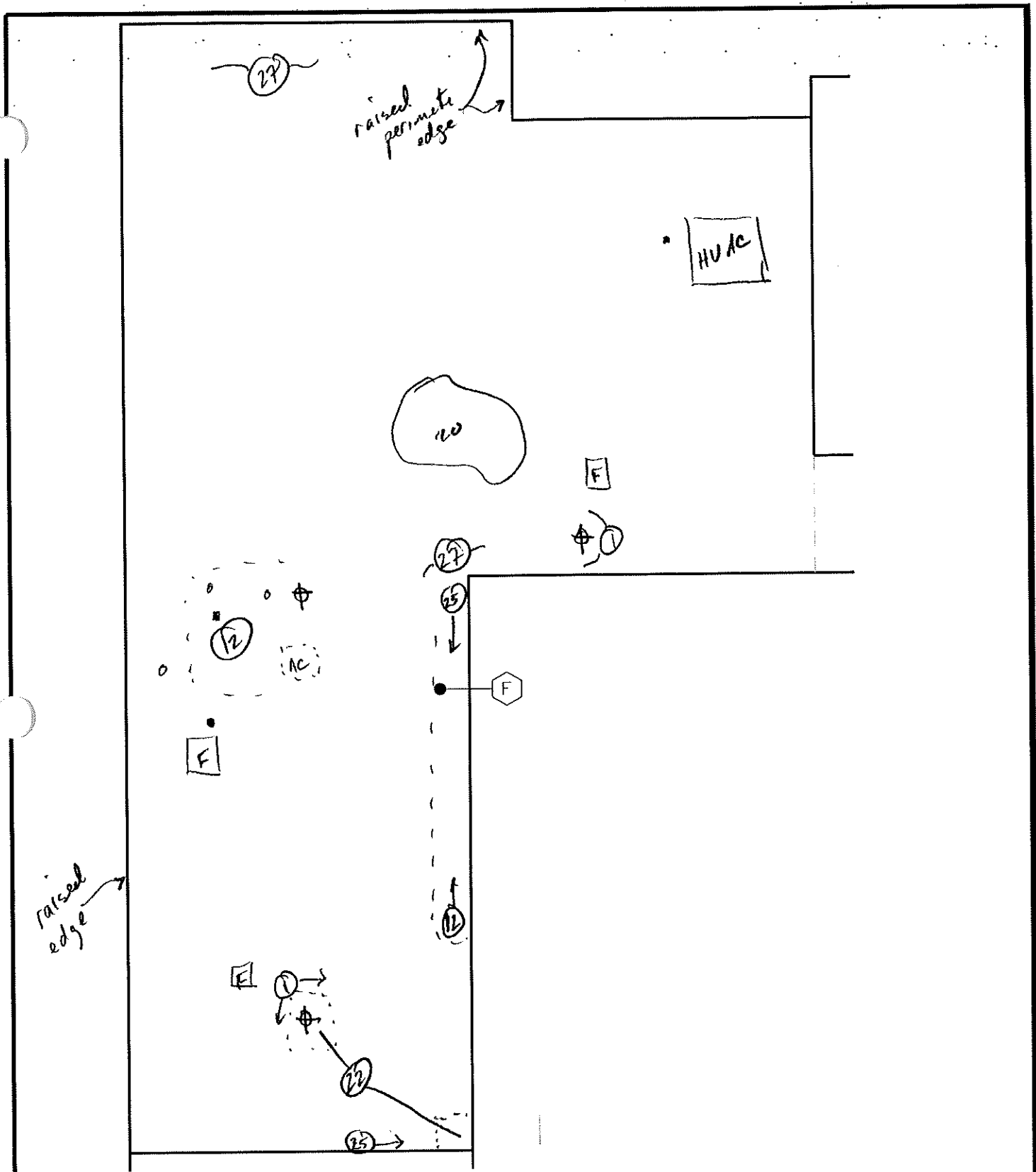
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ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

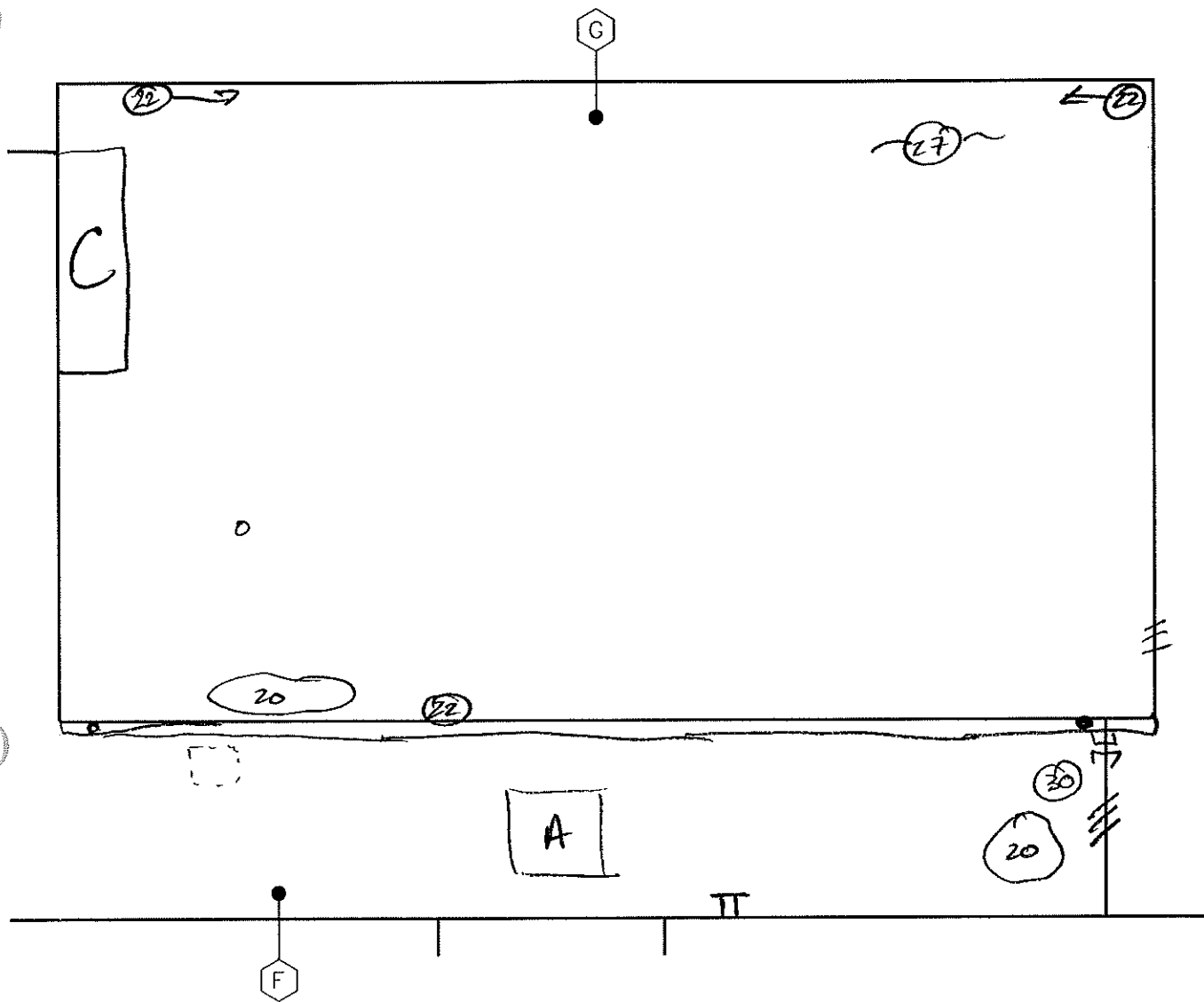
School Name:	Arlington Science Focus Elementary School		Roof Section	F
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	4,300	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Parapet wall / roof edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	Brick masonry wall / windows			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/4-inch per foot / internal drains			
Roof Leak/Repair History	No leaks reported / large areas repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Fair – extensive gravel displacement, large areas of repair, ponding 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated, large repairs at drain sumps 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Fair – poor slope to drains, moderate ponding 			56 – 70
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform repairs to extend service life			
Repairs	Repair drain sumps and membrane defects			
Approx. Repair Cost	\$3,500 - \$5,000			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



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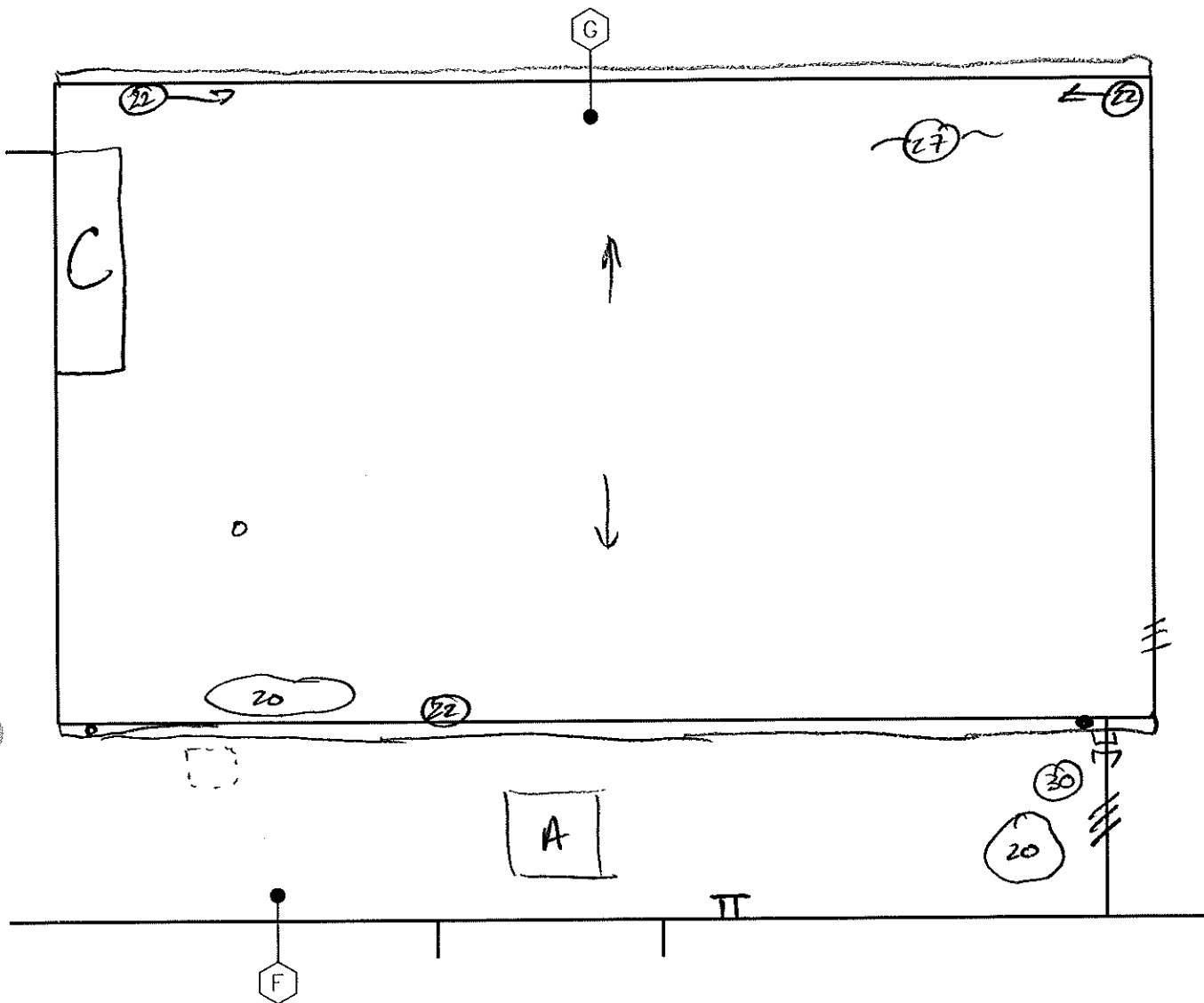
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OF

ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	G
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	1,700	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Gutter edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	N/A			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/4-inch per foot / gutters and downspouts			
Roof Leak/Repair History	No leaks reported / roof edge repairs noted			
General Conditions			Rating	
Membrane	<ul style="list-style-type: none"> Good – minor alligatoring, exposed felts, slipped gravel surfacing 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Good 			56 – 70
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



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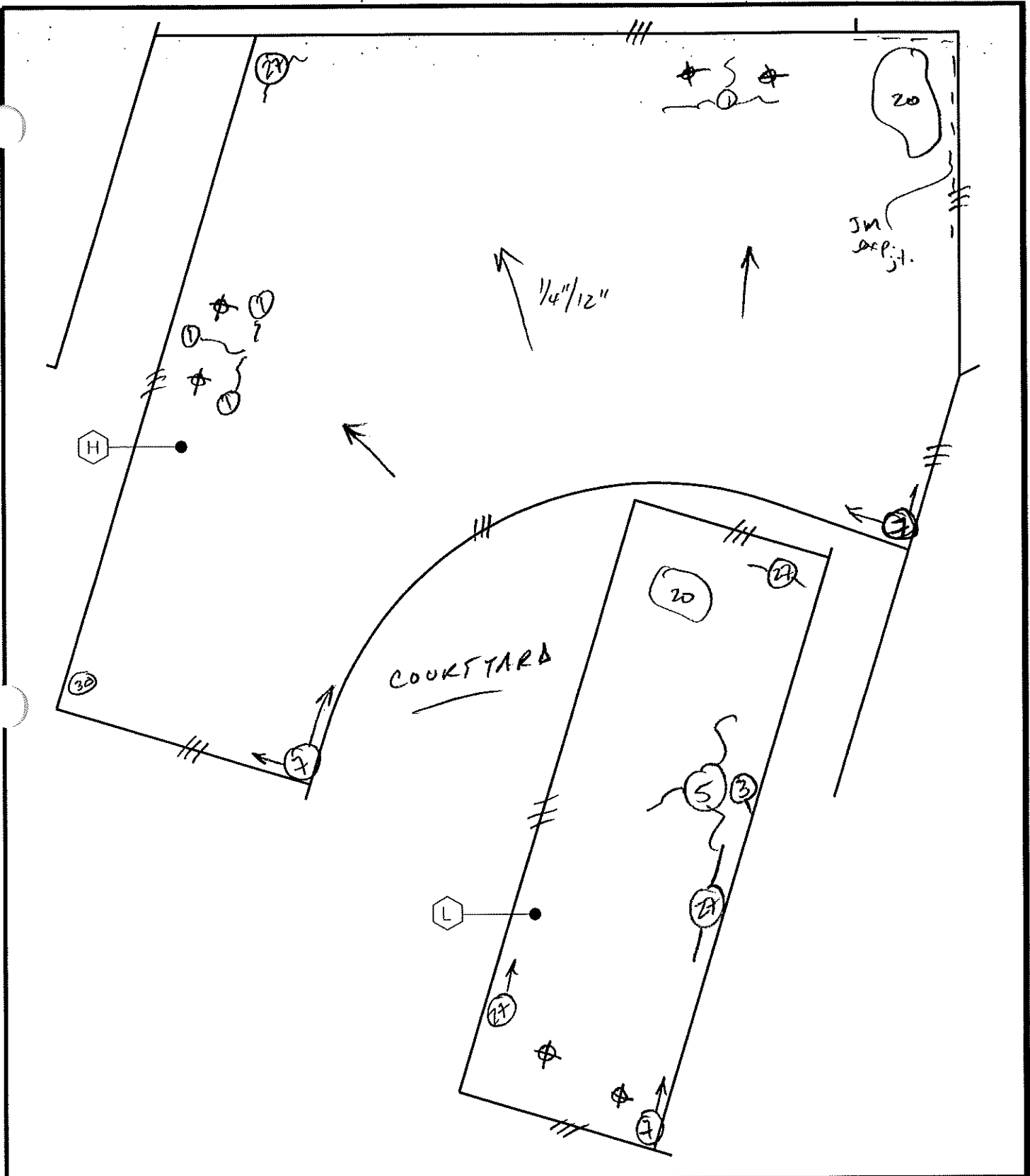
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OF

ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	H
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	3,200	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Roof edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	N/A			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/4-inch per foot / internal drains, overflow scuppers			
Roof Leak/Repair History	No leaks reported / drain sump repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Good – minor alligatoring, exposed felts, slipped gravel surfacing 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated, drain flashings deteriorated 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Fair – moderate areas of ponding 			41 – 55
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

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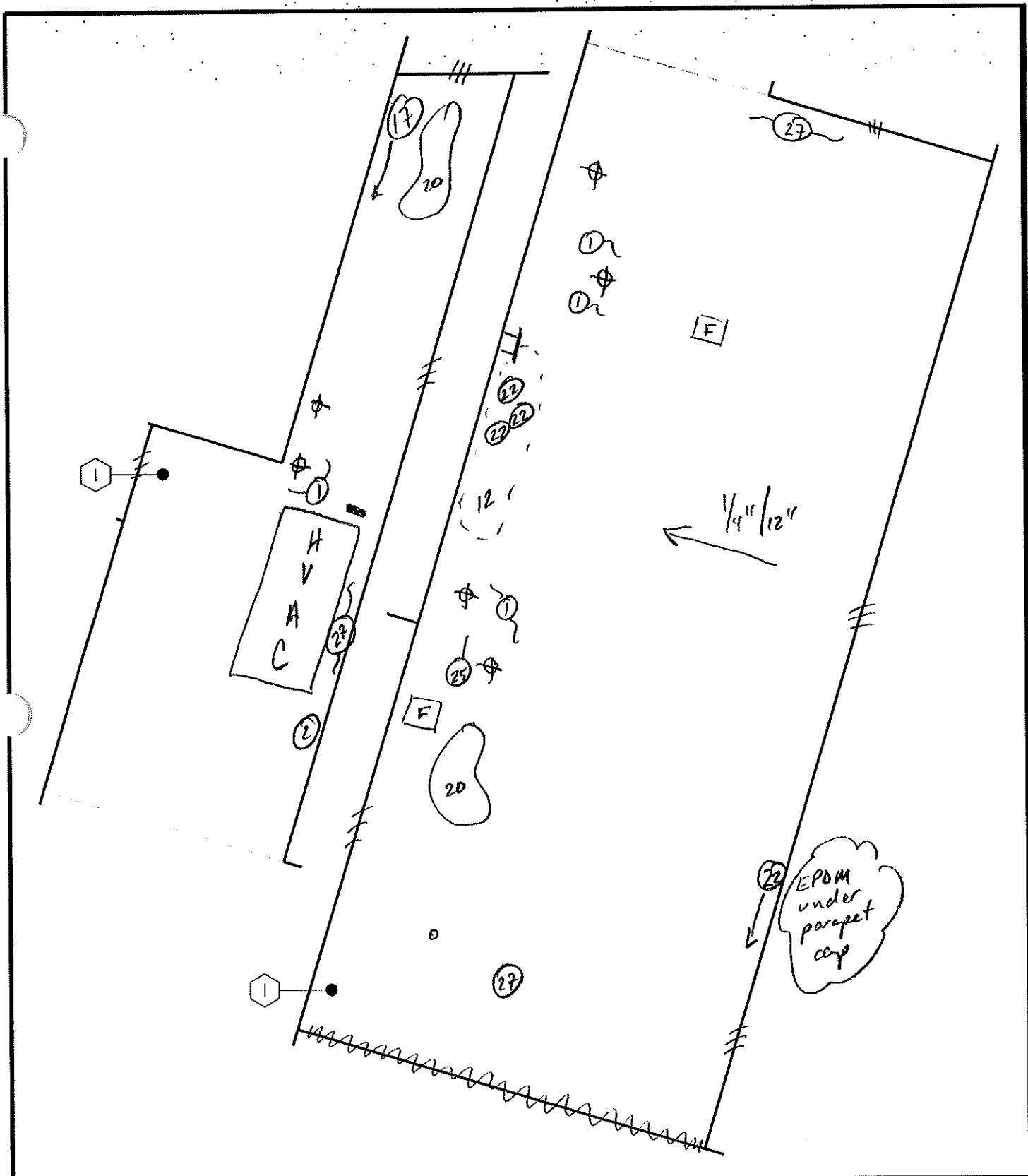
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OF


ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	I
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	4,400	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Roof edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	Brick masonry			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/4-inch per foot / internal drains			
Roof Leak/Repair History	No leaks reported / isolated repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Fair – minor alligatoring, large area of displaced gravel, repairs 			41 – 55
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated, drain flashings deteriorated 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Good – isolated ponding 			56 – 70
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



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ARLINGTON SCIENCE FOCUS ELEMENTARY SCHOOL

Roof Section	Roof System	Type	Repairs Recommended	Repair Budget Cost - Low	Repair Budget Cost - High	Semi-annual Maintenance Inspection Costs
A	BUR	Asphalt	NO	\$0	\$0	\$675.00
B	BUR	Asphalt	NO	\$0	\$0	\$337.50
C	BUR	Asphalt	NO	\$0	\$0	\$375.00
D	BUR	Asphalt	NO	\$0	\$0	\$90.00
E	BUR	Asphalt	NO	\$0	\$0	\$345.00
F	BUR	Asphalt	YES	\$3,500	\$5,000	\$322.50
G	BUR	Asphalt	NO	\$0	\$0	\$127.50
H	BUR	Asphalt	NO	\$0	\$0	\$240.00
I	BUR	Asphalt	NO	\$0	\$0	\$330.00
J	BUR	Asphalt	NO	\$0	\$0	\$195.00
K	BUR	Asphalt	NO	\$0	\$0	\$337.50
L	BUR	Asphalt	NO	\$0	\$0	\$45.00
M	BUR	Asphalt	NO	\$0	\$0	\$142.50
N	METAL	Standing seam sheet metal	YES	\$1,000	\$2,000	\$82.50
O	BUR	Asphalt	NO	\$0	\$0	\$41.25
P	METAL	Standing seam sheet metal	YES	\$1,000	\$2,000	\$45.00
Q	BUR	Asphalt	NO	\$0	\$0	\$315.00
				\$0	\$0	\$0.00
				\$0	\$0	\$0.00
				\$0	\$0	\$0.00
				\$0	\$0	\$0.00
				\$0	\$0	\$0.00
				\$0	\$0	\$0.00
				\$0	\$0	\$0.00
17				\$5,500	\$9,000	\$4,046.25

Sq Footage by Roof Sys

EPDM
HYBRID
BUR
ASPHALT-SHINGLES
METAL
Total SF

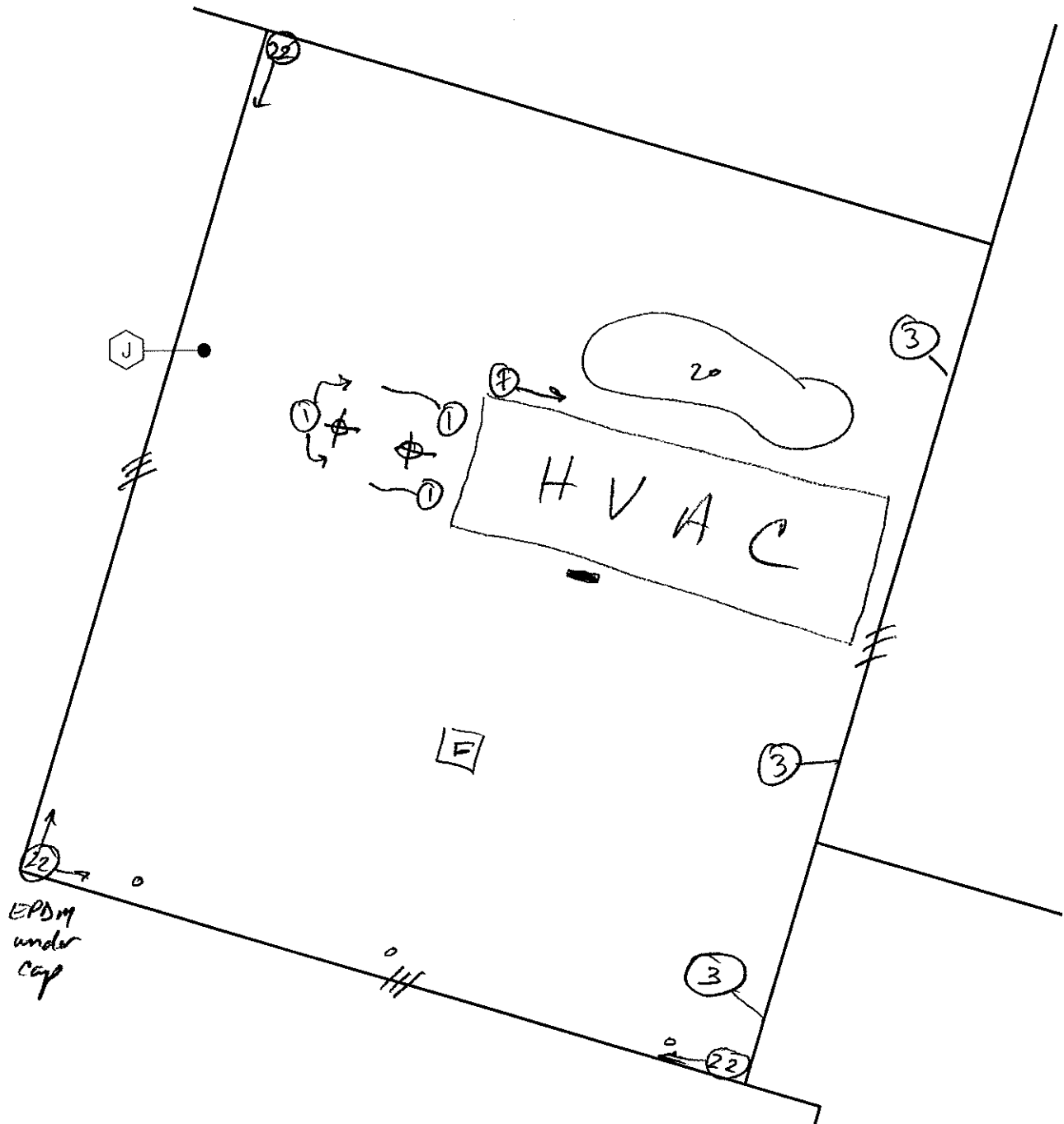
NOTES:

- All roof sections should have semi-annual maintenance inspections
- Roof replacement costs are an estimate only based on present day budget cost
- Repair recommendations should occur within 2 years maximum.

ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	J
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	2,600	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Roof edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	Brick masonry			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/4-inch per foot / gutters and downspouts			
Roof Leak/Repair History	No leaks reported / isolated repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Good – minor alligatoring, exposed felts, slipped gravel surfacing 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated, moderate blisters in base flashings 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Fair – large area of ponding around HVAC unit. 			41 – 55
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



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ARLINGTON PUBLIC SCHOOLS ROOF INSPECTIONS

ARLINGTON SCIENCE FOCUS ELEMENTARY SCHOOL

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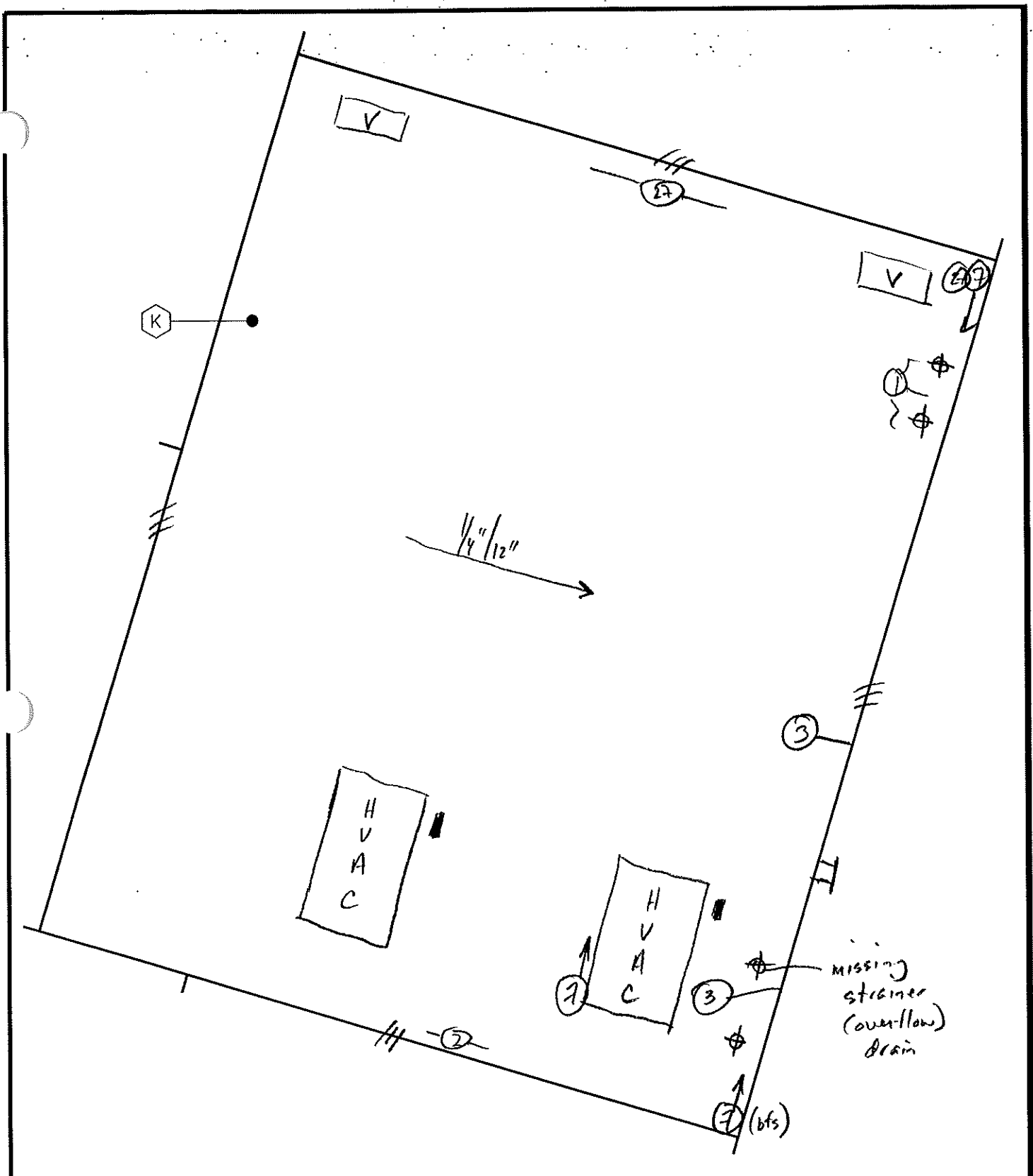
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OF

ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	K
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	4,500	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Roof edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	N/A			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/4-inch per foot / internal drains, overflow drains			
Roof Leak/Repair History	No leaks reported / isolated repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Good – minor alligatoring, exposed felts, slipped gravel surfacing 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated, moderate blisters in base flashings 			41 – 55
Sheet Metal	<ul style="list-style-type: none"> Good 			56 – 70
Drainage	<ul style="list-style-type: none"> Fair – good slope to drains, missing drain strainer 			41 – 55
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

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ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

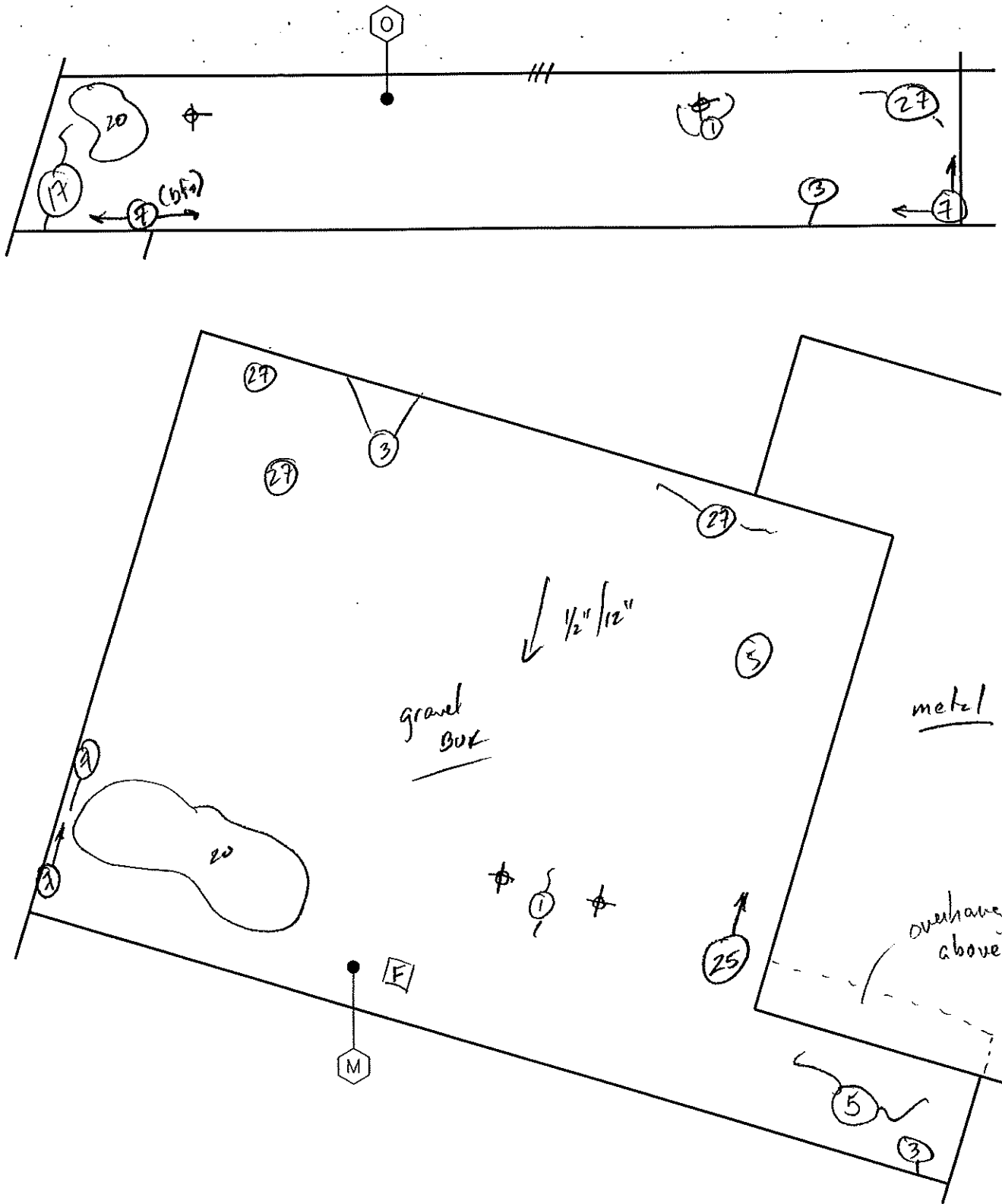
School Name:	Arlington Science Focus Elementary School		Roof Section	L
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	600	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Roof edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	Brick masonry			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/4-inch per foot / internal drains, overflow drain			
Roof Leak/Repair History	No leaks reported / isolated repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Good – minor alligatoring, exposed felts 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Fair – moderate ponding, debris & vegetation throughout 			41 – 55
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.

ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	M
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	1,900	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Roof edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	Brick masonry, windows			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/4-inch per foot / internal drains, overflow drains			
Roof Leak/Repair History	No leaks reported / isolated repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Good – minor alligatoring, exposed felts, slipped gravel surfacing 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – base flashings moderately deteriorated 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Fair – large area of ponding water, construction debris on roof 			41 – 55
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



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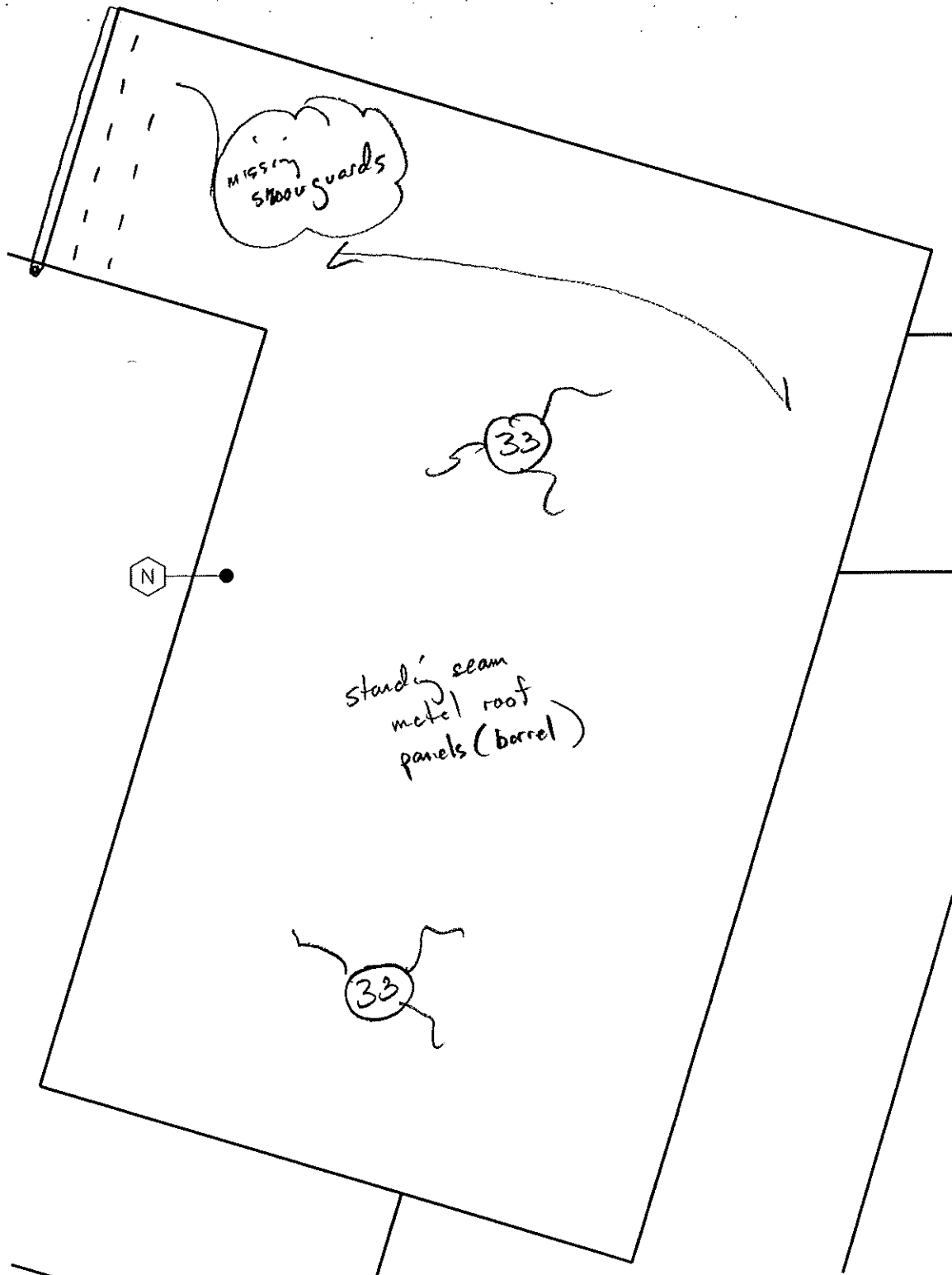
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OF

ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	N
Address	1501 N. Lincoln St., 22201			
System Type	Standing Seam Sheet Metal Roofing	Approx. Square Feet	1,100 sf	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Kynar	Approx. Roof Age	9 years	
Membrane	Metal			
Perimeter	Roof edge			
Flashing Membrane/Metal	Metal / 24 gauge prepainted steel			
Rising Wall Type	N/A			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	Barrel roof slope varies / gutter and downspouts			
Roof Leak/Repair History	No leaks reported / no repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Very good – minor chalking, deterioration of metal panels 			71 – 85
Flashings	<ul style="list-style-type: none"> Very good 			71 – 85
Sheet Metal	<ul style="list-style-type: none"> Very good 			71 – 85
Drainage	<ul style="list-style-type: none"> Good – isolated missing snow guards 			56 – 70
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	20 – 30 years			
Recommendations	Perform repairs to extend service life.			
Repairs	Replace missing snow guards.			
Approx. Repair Cost	\$1,000 - \$2,000			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



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ARLINGTON PUBLIC SCHOOLS ROOF INSPECTIONS

ARLINGTON SCIENCE FOCUS ELEMENTARY SCHOOL

PROJ. NO:

670438

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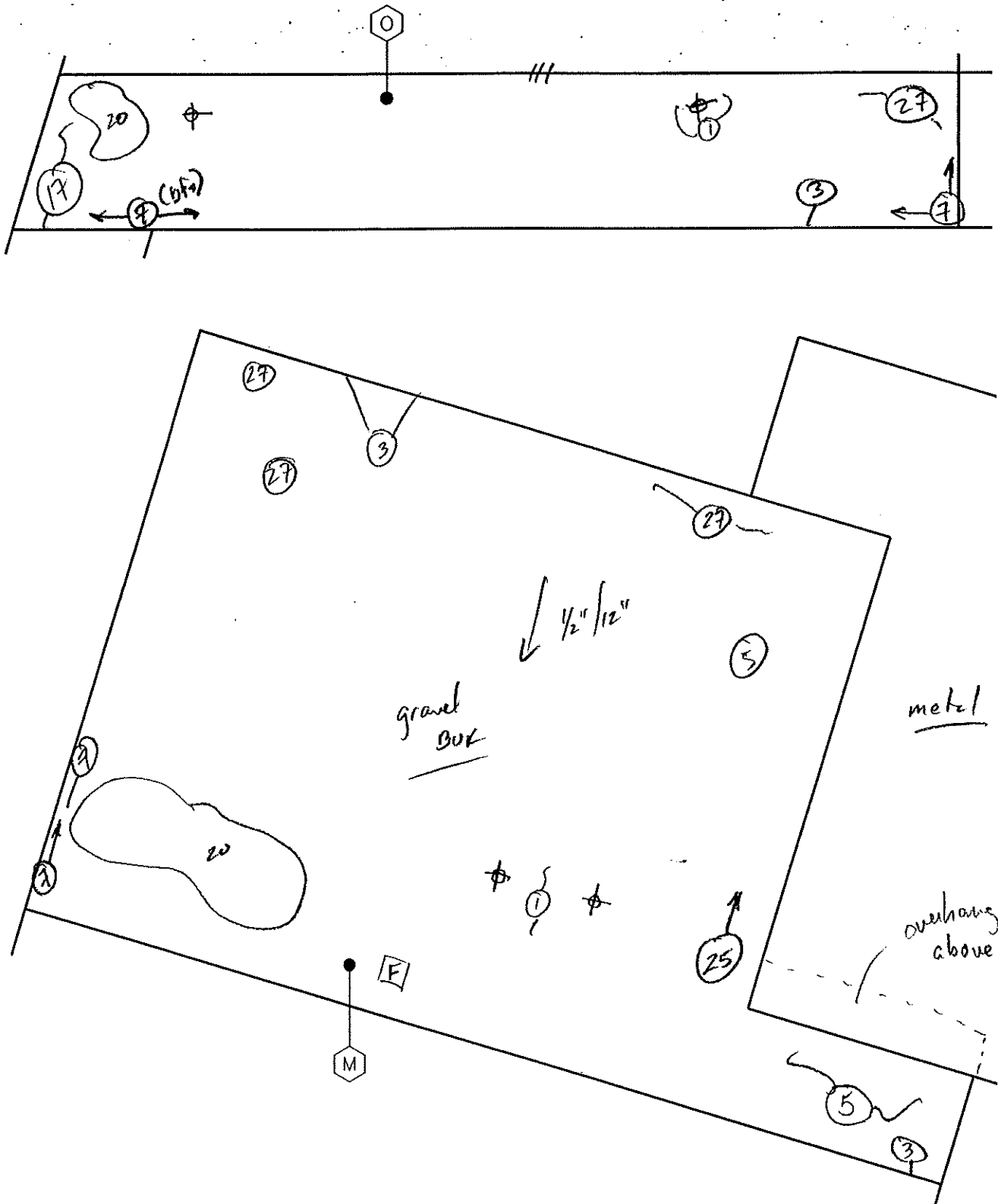
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ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	O
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	550	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Roof edge			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	EIFS / brick masonry			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/4-inch per foot / gutters and downspouts			
Roof Leak/Repair History	No leaks reported / isolated repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Good – minor alligatoring, exposed felts 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – edge strippings repaired, base flashings moderately deteriorated, minor blisters 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Fair – isolated ponding, vegetation growth 			71 – 85
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



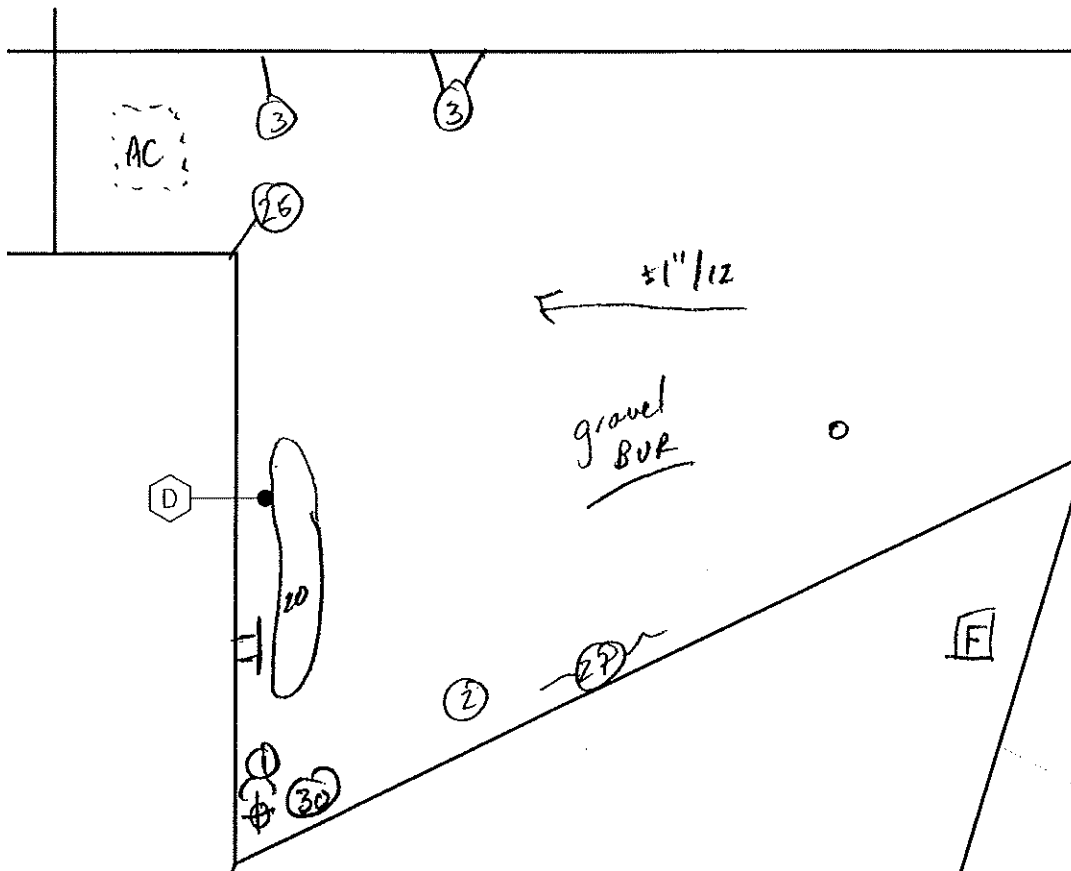
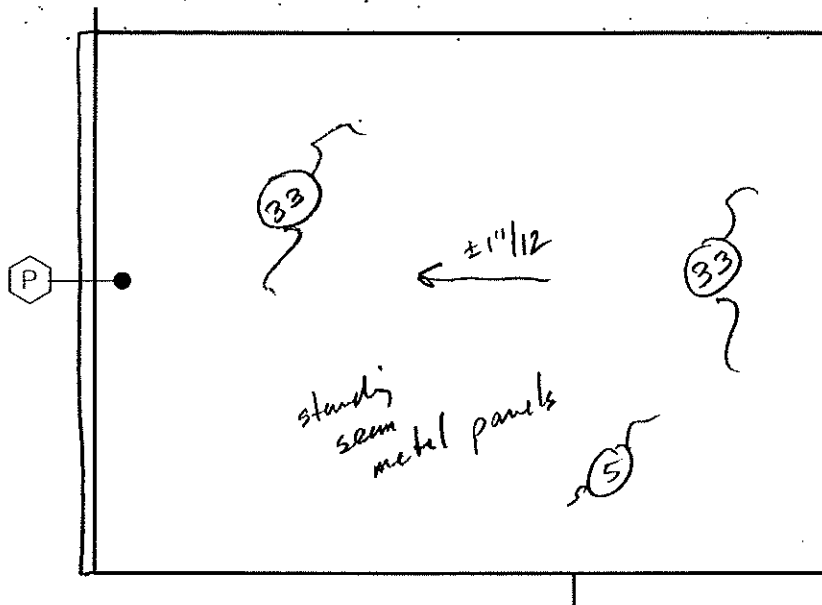
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 <p>Gale Associates, Inc. Engineers Architects Planners</p> <p>1122 Kentworth Drive, Suite 206 Towson, Md 21204-2143 P 443-279-4500 F 443-279-4560 www.gainc.com</p> <p>Boston Baltimore Orlando San Francisco</p>	<p>ARLINGTON PUBLIC SCHOOLS ROOF INSPECTIONS</p>				DATE:	
	<p>ARLINGTON SCIENCE FOCUS ELEMENTARY SCHOOL</p>				SCALE:	NOT TO SCALE
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ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	P
Address	1501 N. Lincoln St., 22201			
System Type	Standing Seam Sheet Metal Roofing	Approx. Square Feet	600 sf	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Kynar	Approx. Roof Age	9 years	
Membrane	Metal			
Perimeter	Roof edge			
Flashing Membrane/Metal	Metal / 24 gauge prepainted steel			
Rising Wall Type	Brick masonry			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	Barrel roof slope varies / gutter and downspouts			
Roof Leak/Repair History	No leaks reported / no repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Very good – minor chalking, deterioration of metal panels, minor debris on roof 			71 – 85
Flashings	<ul style="list-style-type: none"> Very good 			71 – 85
Sheet Metal	<ul style="list-style-type: none"> Very good 			71 – 85
Drainage	<ul style="list-style-type: none"> Good – isolated missing snow guards 			56 – 70
Rising Walls	<ul style="list-style-type: none"> Good 			56 – 70
Remaining Service Life	20 – 30 years			
Recommendations	Perform repairs to extend service life.			
Repairs	Replace missing snow guards.			
Approx. Repair Cost	\$1,000 - \$2,000			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.



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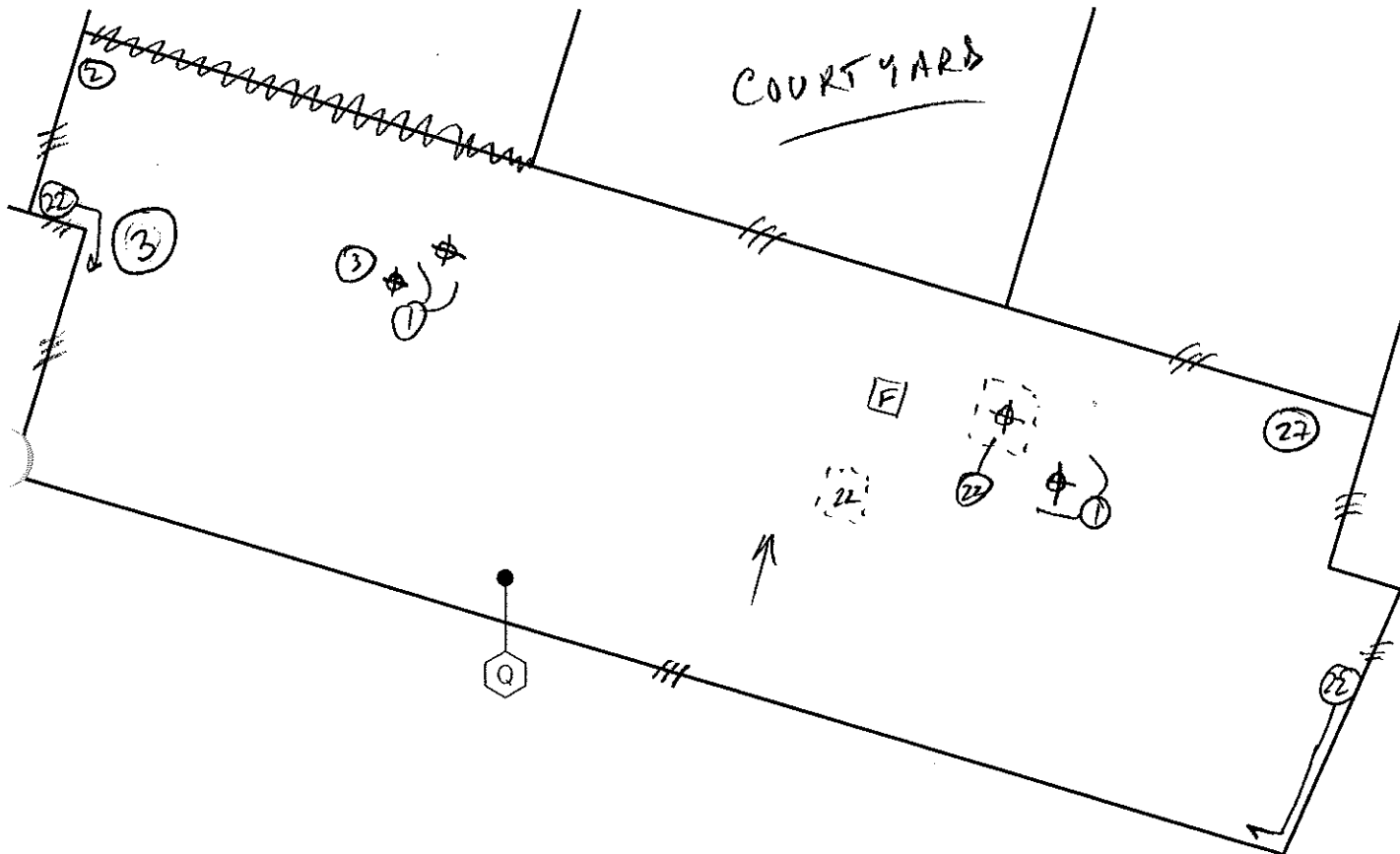
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ARLINGTON PUBLIC SCHOOLS ROOF CONDITION SURVEY

School Name:	Arlington Science Focus Elementary School		Roof Section	Q
Address	1501 N. Lincoln St., 22201			
System Type	Built-Up Asphalt Roofing	Approx. Square Feet	4,200	
Personnel	RTB	Survey Dates	1/7/10	
Surfacing	Gravel	Approx. Roof Age	9 years	
Membrane	BUR-4Ply			
Perimeter	Parapet Wall			
Flashing Membrane/Metal	Mod-Bit 2-ply / 24 gauge prepainted steel			
Rising Wall Type	N/A			
Building Construction Type	Steel frame with brick masonry walls			
Roof Slope/Drainage	±1/4-inch per foot / Internal drains, overflow drains			
Roof Leak/Repair History	No leaks reported / drain sump repairs noted			
General Conditions				Rating
Membrane	<ul style="list-style-type: none"> Good – minor alligatoring, exposed felts, isolated blisters, repairs 			56 – 70
Flashings	<ul style="list-style-type: none"> Fair – base flashings moderately deteriorated, drain sump repairs 			41 -55
Sheet Metal	<ul style="list-style-type: none"> Good 			56- 70
Drainage	<ul style="list-style-type: none"> Good – repairs at drain sump areas 			56 – 70
Rising Walls	<ul style="list-style-type: none"> N/A 			N/A
Remaining Service Life	8 – 12 years			
Recommendations	Perform yearly maintenance			
Repairs	N/A			
Approx. Repair Cost	N/A			
Approx. Replacement Cost	N/A			

NOTE: Rating system is based on a 100 point scale. Scale based upon criteria provided by Roof Pro condition index.

COURTYARD



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