

Grace Hopper Center (New Arlington Career Center) November 2025 Construction Update

December 1, 2025

Executive Summary

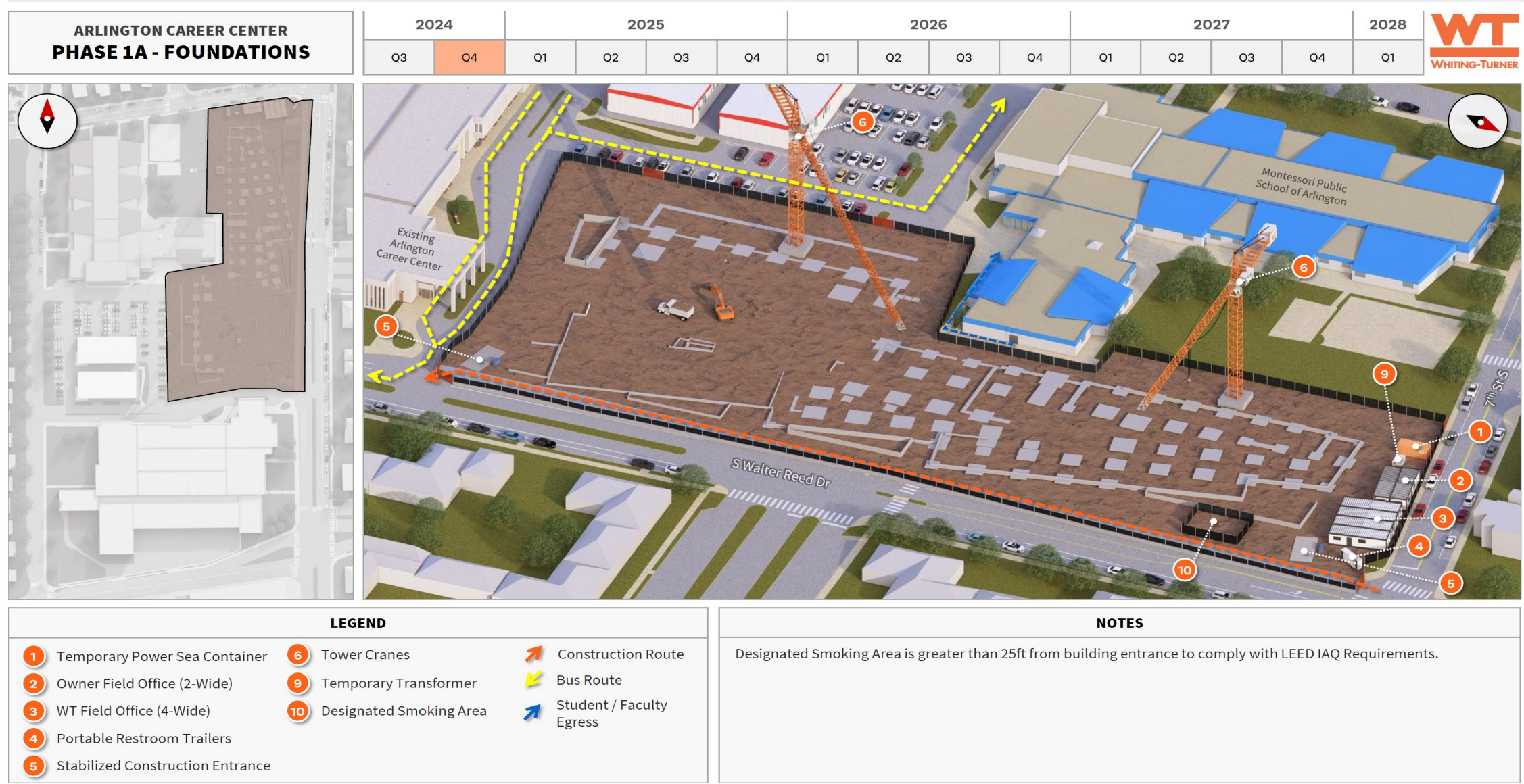
- Due to unforeseen subsurface conditions and permitting delays, the scheduling cushion that was built-in for Phase 1 (construction of the new facility) is largely depleted, however, Phase 1 is still on schedule to achieve substantial completion in early August and be ready for start of school in late August of 2026. Phase 2 and Phase 3 completion dates are not impacted at this time.
- Building envelope construction is well underway and we anticipate the building will be weather tight by early December
- Mechanical, electrical, and plumbing rough-ins are in progress, and we anticipate HVAC systems to come on-line for permanent building conditioning in January 2026 to facilitate installation of finishes
- Site utility work is progressing in a timely manner to support building system activation. Water, gas, electrical, and communication services are all in various states of completion and scheduled to come on-line early in 2026
- Advance work at the existing Career Center facility is ongoing in preparation for a timely start of Phase 2 construction, which is removal of the south side shops starting in summer of 2026 and construction of the 4 level above grade parking garage at the corner of S Highland St and 9th St S. To date advance work completed includes relocation of the chillers, gas service, a portion of the Comcast service for the building, and a portion of the storm sewer relocation on 9th St S and S Highland St. Relocation of the remaining Comcast and Verizon service to the building is planned prior to summer 2026. 9th St S/S Highland St storm sewer relocation will largely complete this fall
- County Complete Streets project on S Walter Reed Dr between 5th St S and Columbia Pike is not scheduled to start until December of this year at the earliest.

- Civil Engineering Plan (CEP) – fully approved
- New Career Center Building Permit – approved with minor revisions for field conditions currently in county review
- Existing Career Center Building Permit – fully approved
- New Parking Garage Building Permit – fully approved
- Full Site Land Disturbing Activity (LDA) Permit – fully approved
- Maintenance of Traffic (MOT) Plan for construction of the new facility – fully approved including associated Right of Way (ROW) permit
- Maintenance of Traffic (MOT) Plan for Storm Sewer Relocation at S Highland St and 9th St S – fully approved including associated Right of Way (ROW) permit
- Maintenance of Traffic (MOT) Plan for installation of new streetscape at the southeast corner of the site – fully approved, associated Right of Way (ROW) permit has been applied for and is in county review

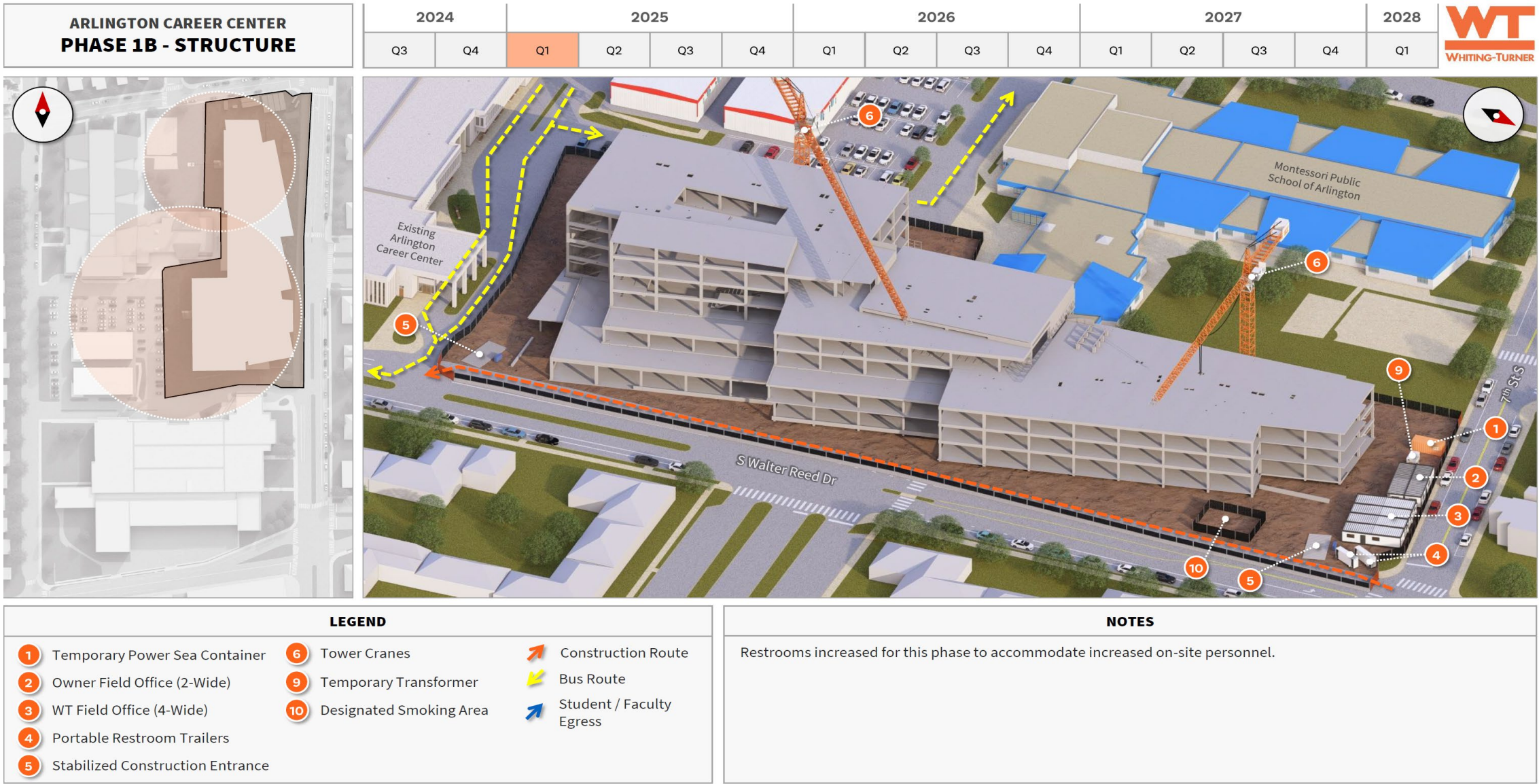
Project Scope and Schedule

- Phase 1 (Spring 2024 – Summer 2026)
 - a. construct new Grace Hopper Center
 - b. construct new streetscape (sidewalk, planting strip, street trees/lights) adjacent to phase 1 construction
 - c. utility work
- Phase 2 (Summer 2026 – Summer 2027)
 - a. demolish high bay shops on south side of existing Career Center facility and restore façade
 - b. Construct new parking garage
 - c. construct new streetscape adjacent to phase 2 construction
- Phase 3 (Summer 2027 – Fall 2027)
 - a. construct new play field at former parking lot location
 - b. repave bus loop and complete remaining sitework
 - c. construct new streetscape adjacent to phase 3 construction
- S Walter Reed Drive Complete Streets project – not in ACC project scope. County construction projected to start late this year

Phase 1 (spring 2024 – summer 2026)



Phase 1 (spring 2024 – summer 2026)

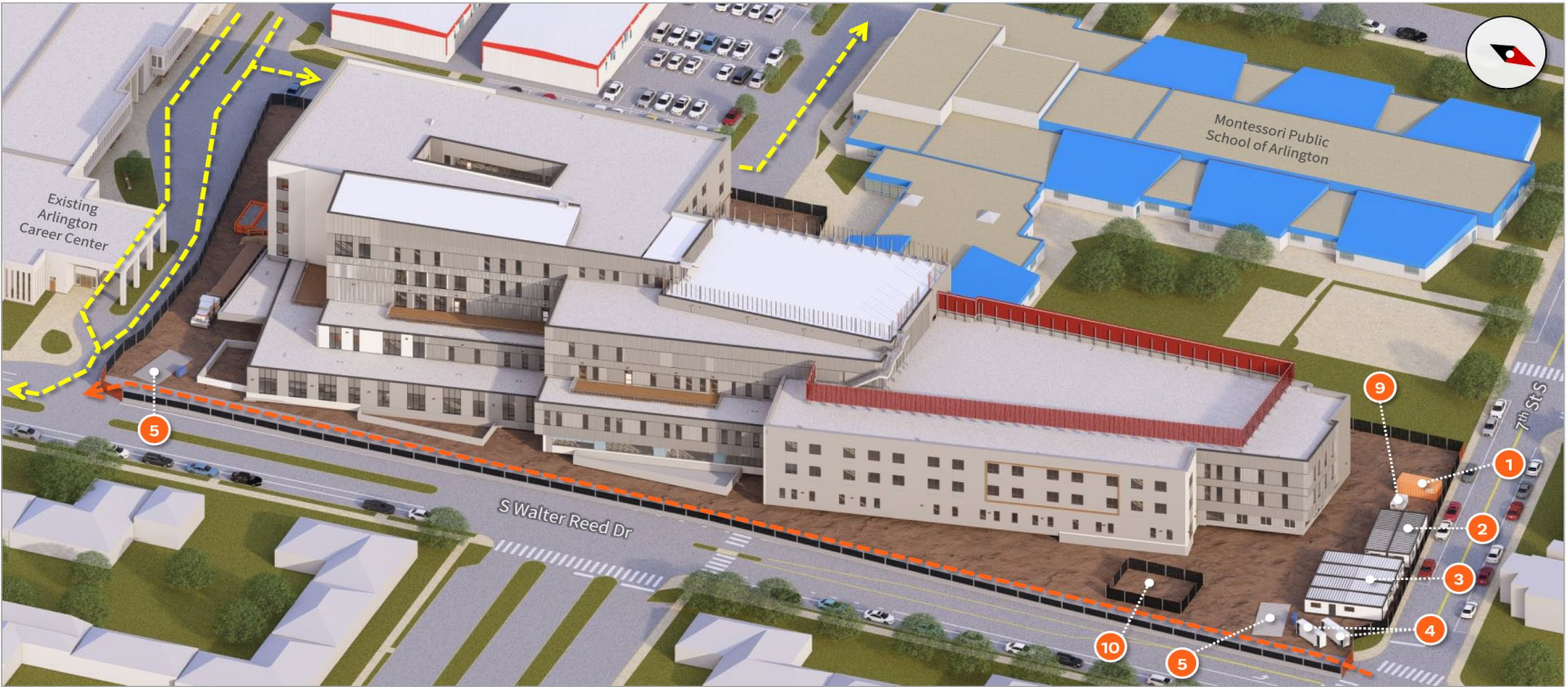
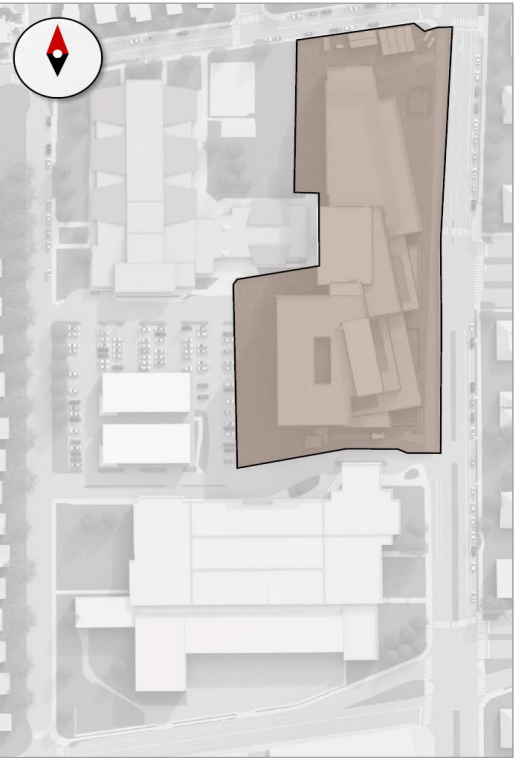


Phase 1 (spring 2024 – summer 2026)

Last updated: 6/17/2024

ARLINGTON CAREER CENTER PHASE 1C – BUILDING SKIN

2024		2025				2026				2027				2028
Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1



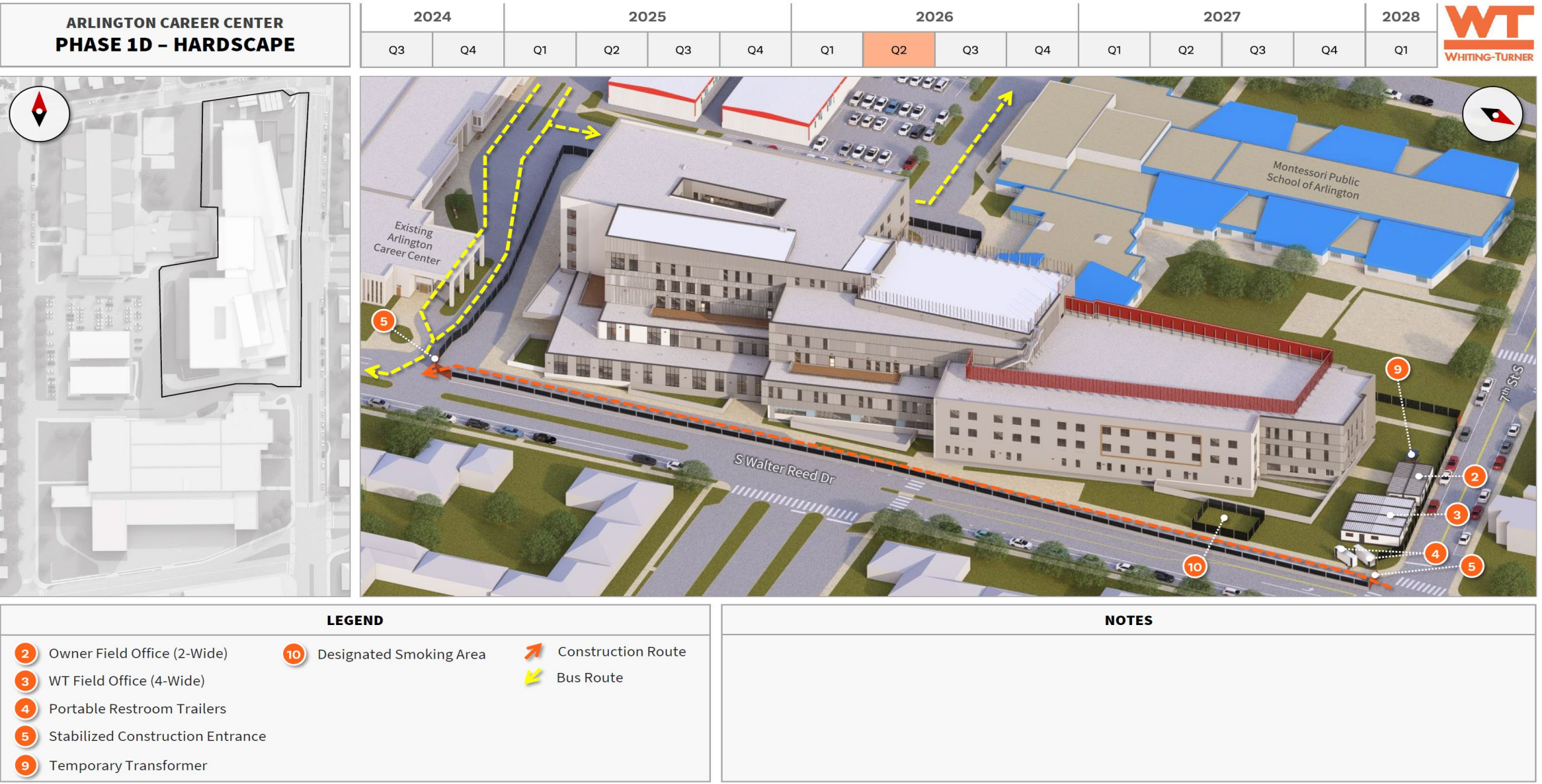
LEGEND

- | | | |
|------------------------------------|----------------------------|----------------------------|
| 1 Temporary Power Sea Container | 9 Temporary Transformer | ↗ Construction Route |
| 2 Owner Field Office (2-Wide) | 10 Designated Smoking Area | ↘ Bus Route |
| 3 WT Field Office (4-Wide) | | ↖ Student / Faculty Egress |
| 4 Portable Restroom Trailers | | |
| 5 Stabilized Construction Entrance | | |

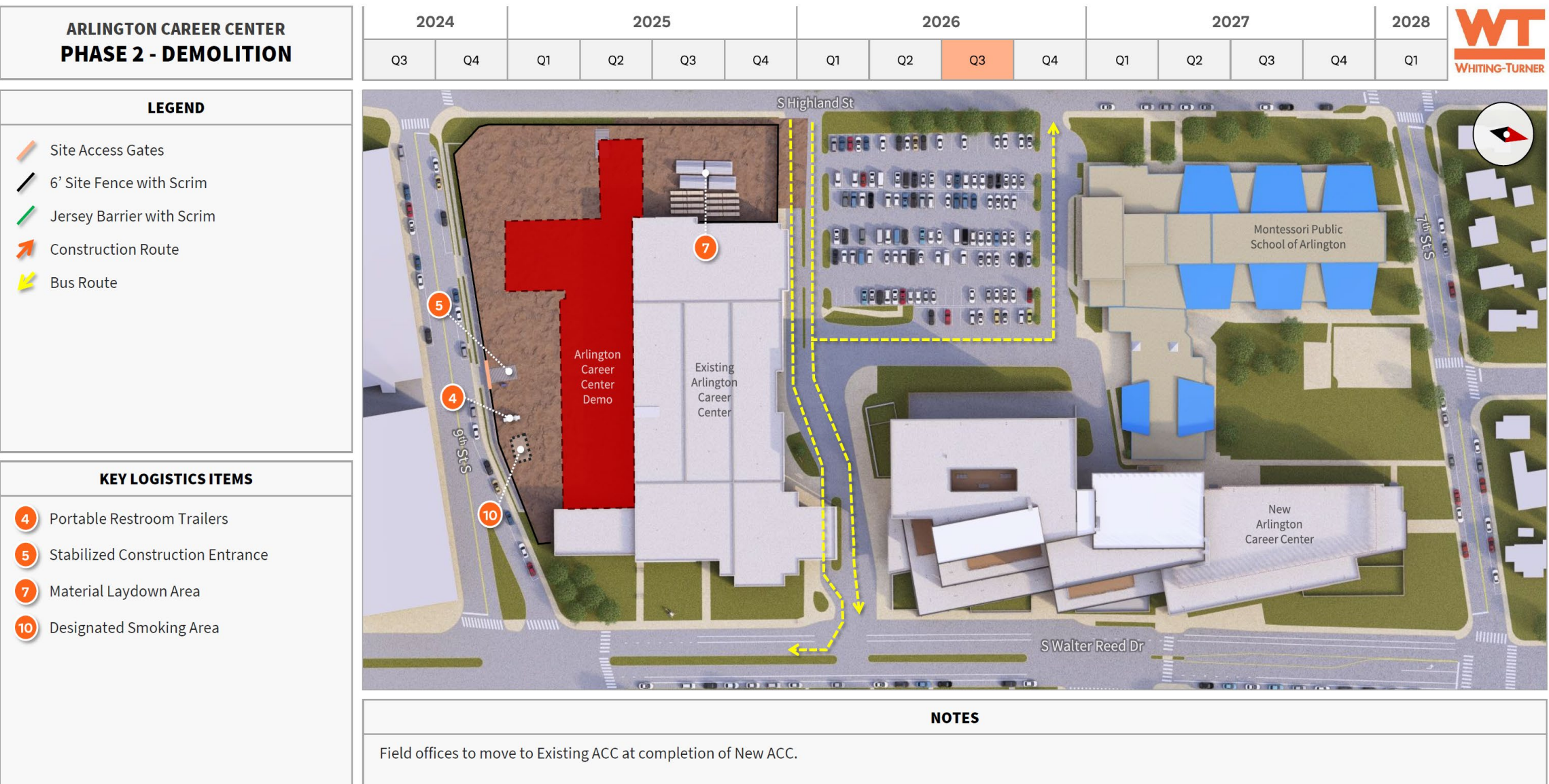
NOTES

Restrooms increased for this phase to accommodate increased on-site personnel

Phase 1 (spring 2024 – summer 2026)



Phase 2 (summer 2026 – summer 2027)



Phase 2 (summer 2026 – summer 2027)

ARLINGTON CAREER CENTER PHASE 2 - GARAGE

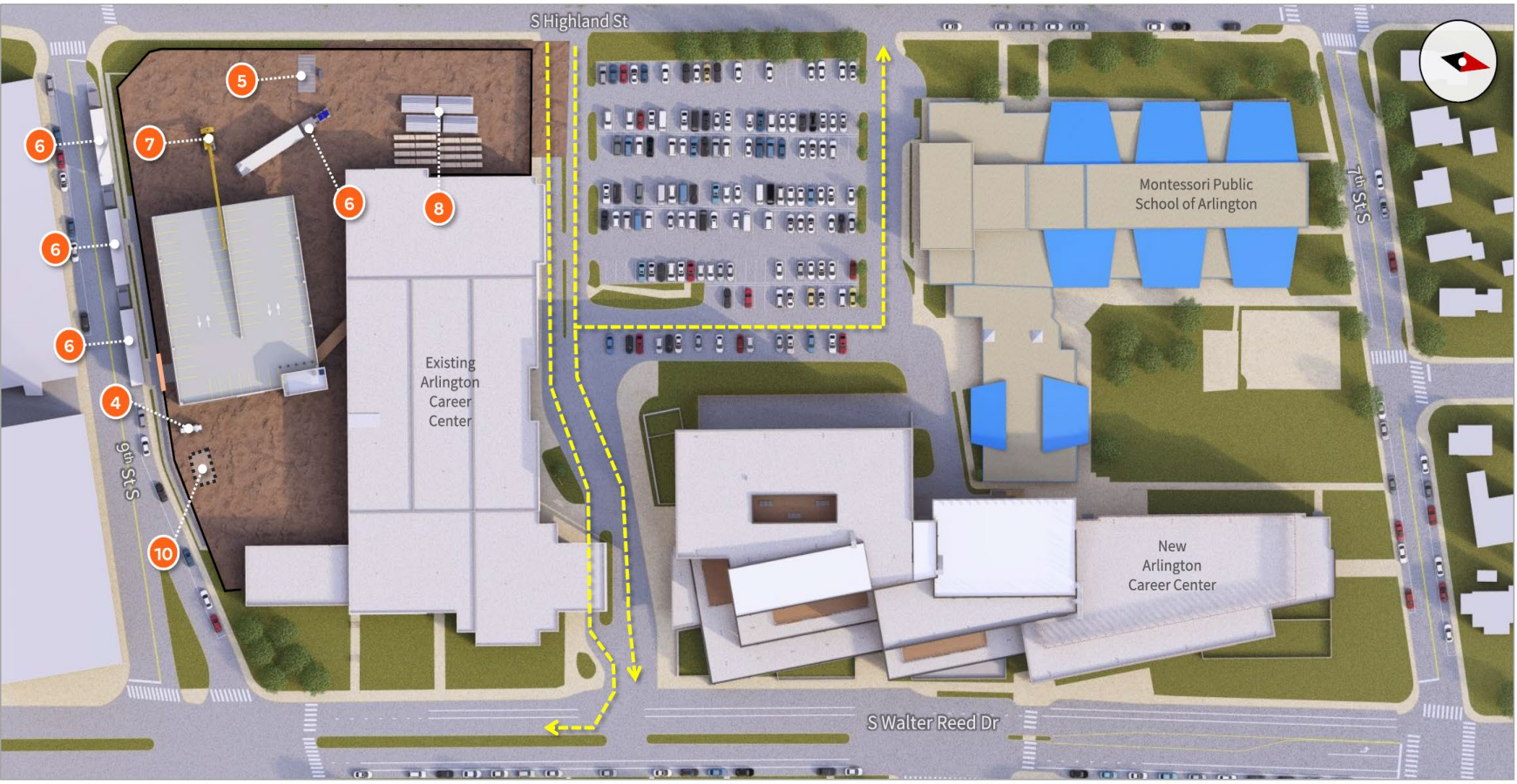
LEGEND

- Site Access Gates
- 6' Site Fence with Scrim
- Jersey Barrier with Scrim
- Construction Route
- Bus Route

KEY LOGISTICS ITEMS

- 4 Portable Restroom Trailers
- 5 Stabilized Construction Entrance
- 6 Precast Double T Delivery Truck
- 7 Crawler Crane
- 8 Material Laydown Area
- 10 Designated Smoking Area

2024		2025				2026				2027				2028
Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1



NOTES

Field offices to move to Existing ACC at completion of New ACC.



Phase 3 (summer 2027 – fall 2027)

Last updated: 8/12/2024

ARLINGTON CAREER CENTER PHASE 3

LEGEND

- Site Access Gates
- 6' Site Fence with Scrim
- Jersey Barrier with Scrim
- Construction Route
- Bus Route

KEY LOGISTICS ITEMS

- 4 Portable Restroom Trailers
- 5 Stabilized Construction Entrance
- 7 Material Laydown Area

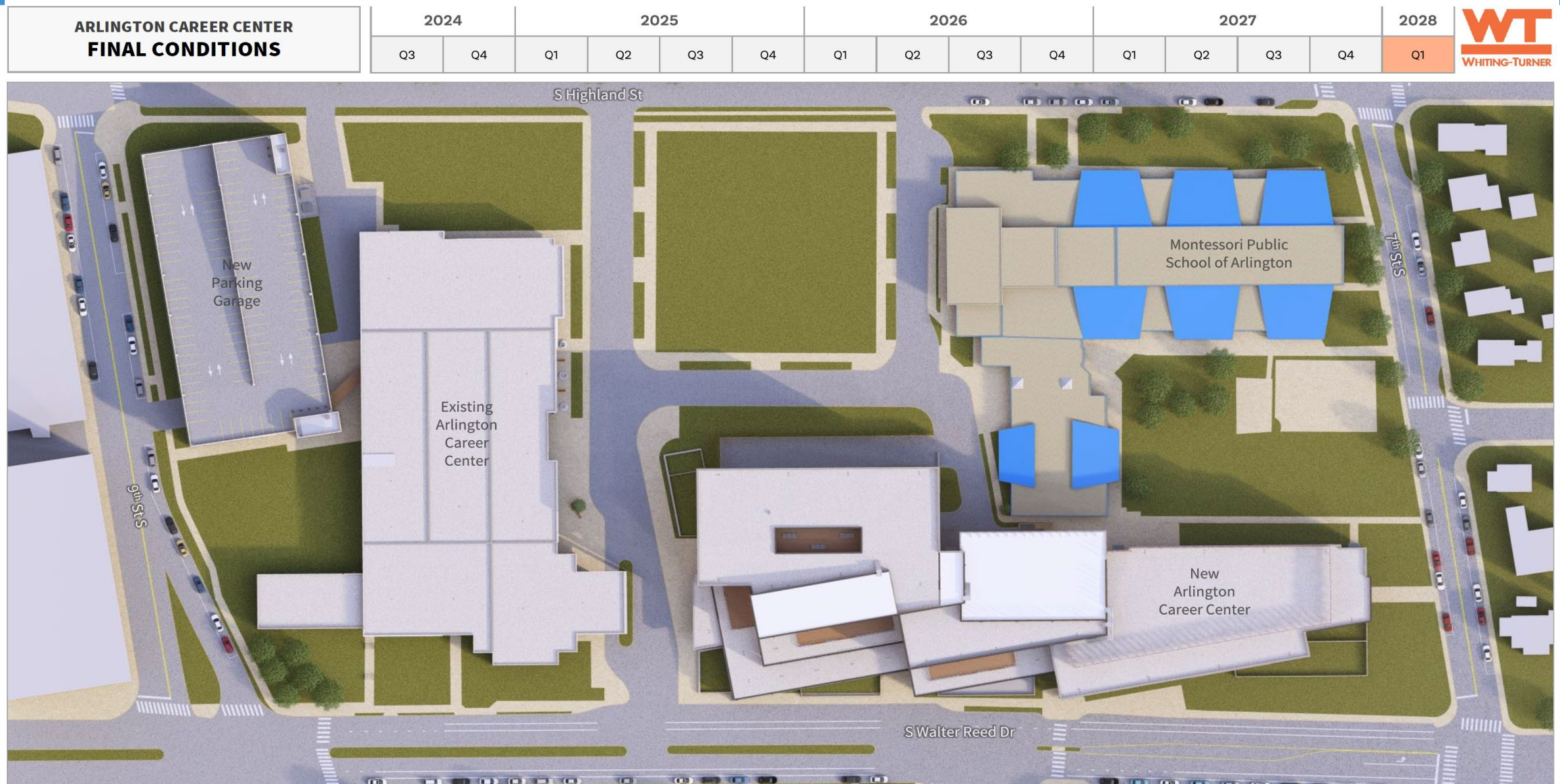
2024		2025				2026				2027				2028
Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4	Q1



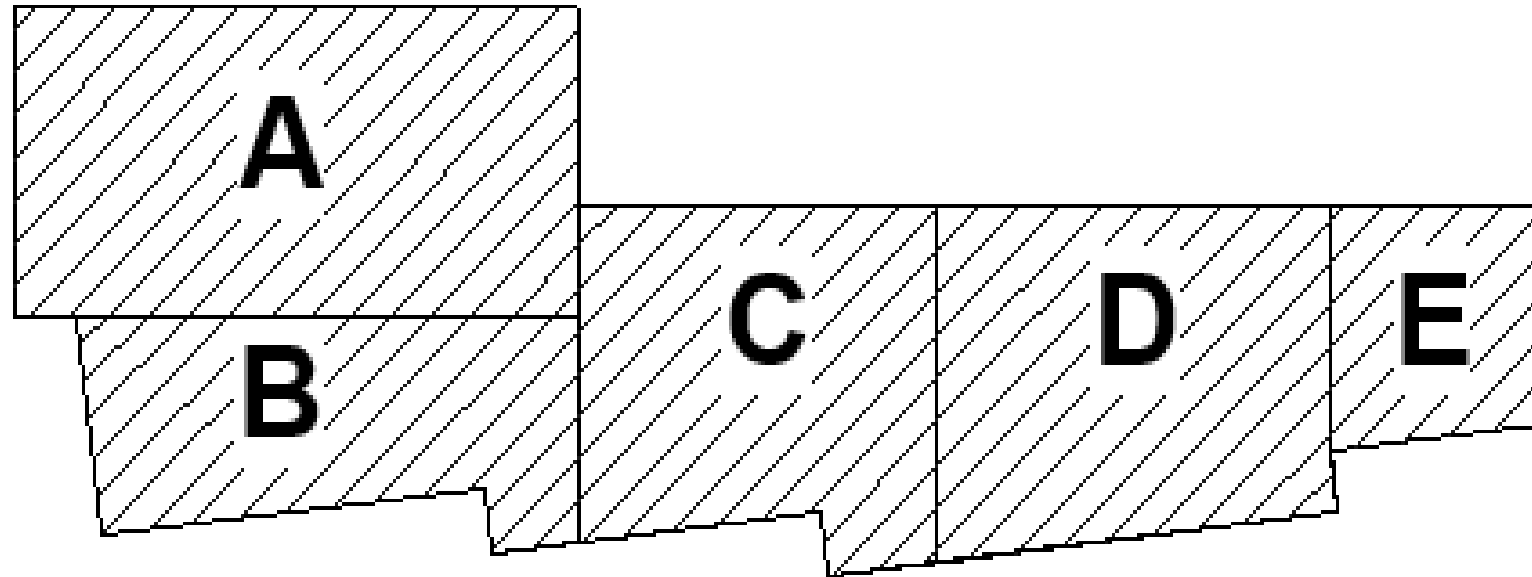
NOTES



Campus Site Plan Final Conditions



Keyplan



South Walter Reed Drive

7th Street South

Construction Progress - Building

- Exterior wall framing, sheathing, air/vapor barrier, insulation, and window frames – 90% complete
- Exterior brick veneer – 40% complete
- Exterior metal and composite wall panels – 20% complete
- Exterior glazing – 70% complete
- Roofing – 80% complete
- Interior wall framing – 70% complete
- Drywall and paint – 30% complete
- Interior mechanical, electrical, and plumbing (MEP) rough-ins – 70% complete
- Rooftop mounted HVAC equipment – 70% complete, all rooftop units mounted, currently being ducted and plumbed in
- Stairs – 40% complete

- Electrical ductbank for permanent power – 90% complete
- Communications ductbank – 70% complete
- Domestic water service and fire line – complete
- Washington-Gas service – 80% complete
- Storm sewer east, west, and north of new building – 50% complete
- Storm sewer relocation at S Highland and 9th St S – 60% complete
- Sanitary sewer south of building in existing bus loop – complete
- Storm sewer south of new building in existing bus loop – complete
- 9th St S streetscape (new curb & gutter, sidewalk, streetlights, and street trees) – 10% complete
- Loading dock/Receiving area construction – 30% complete
- Bio-retention areas – 50% complete

Exterior Renderings



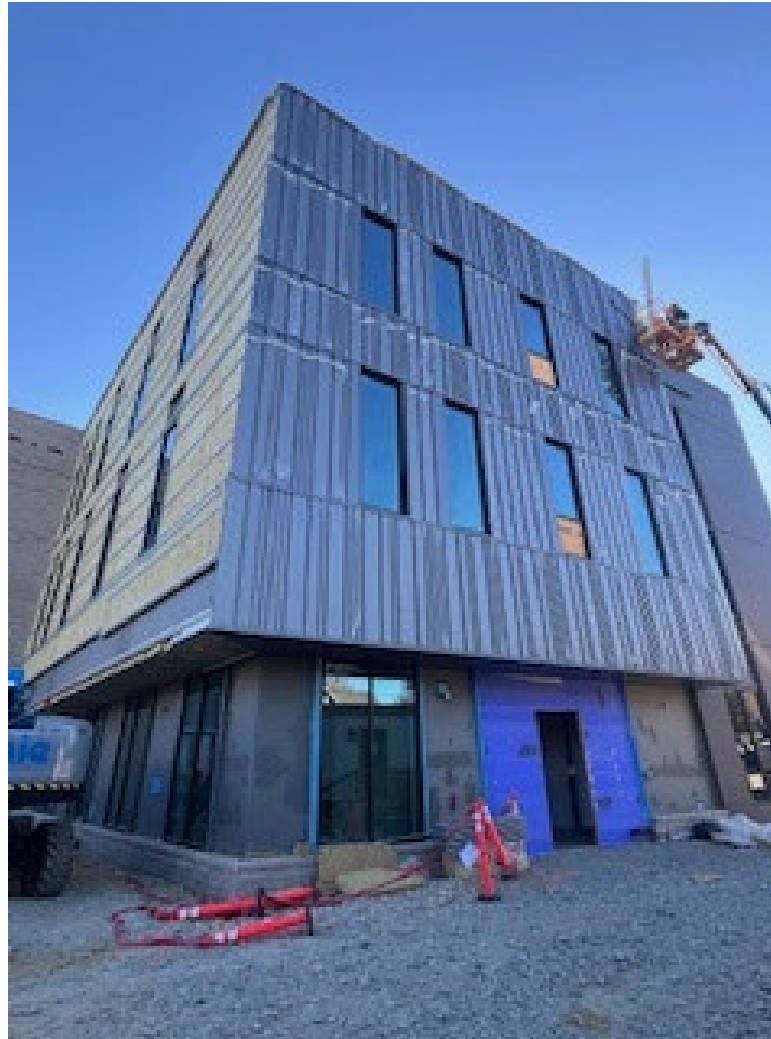
Construction Progress – Exterior Wall Framing, Sheathing, Air/Vapor Barrier, Insulation, and Window Frames



Construction Progress – Exterior Brick Veneer



Construction Progress – Exterior Metal and Composite Wall Panels



Construction Progress – Exterior Glazing



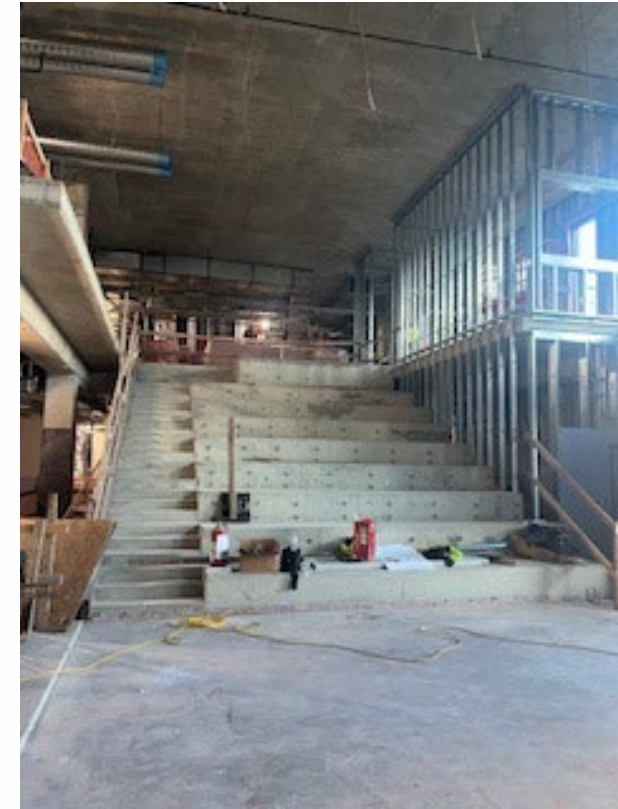
Construction Progress – Roofing



Construction Progress – Terraces



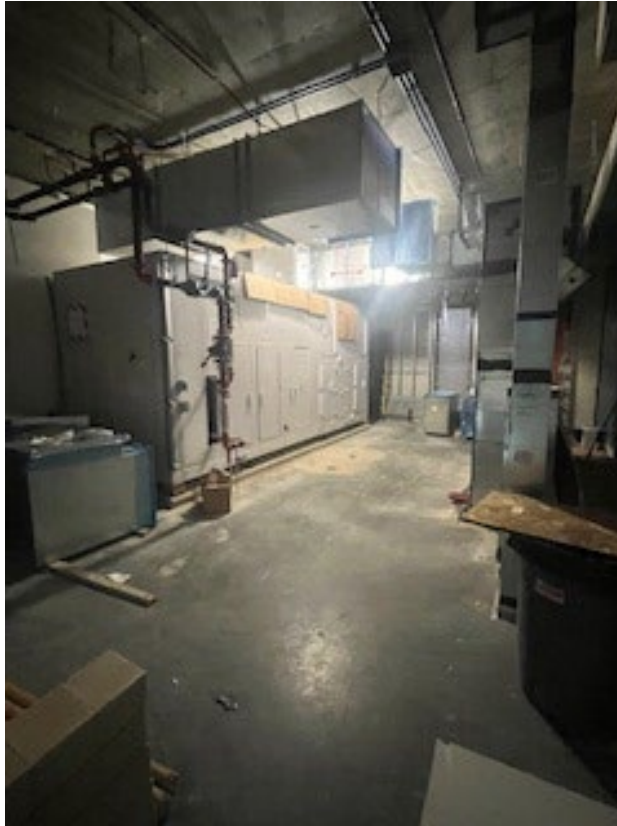
Construction Progress – Interior Wall Framing



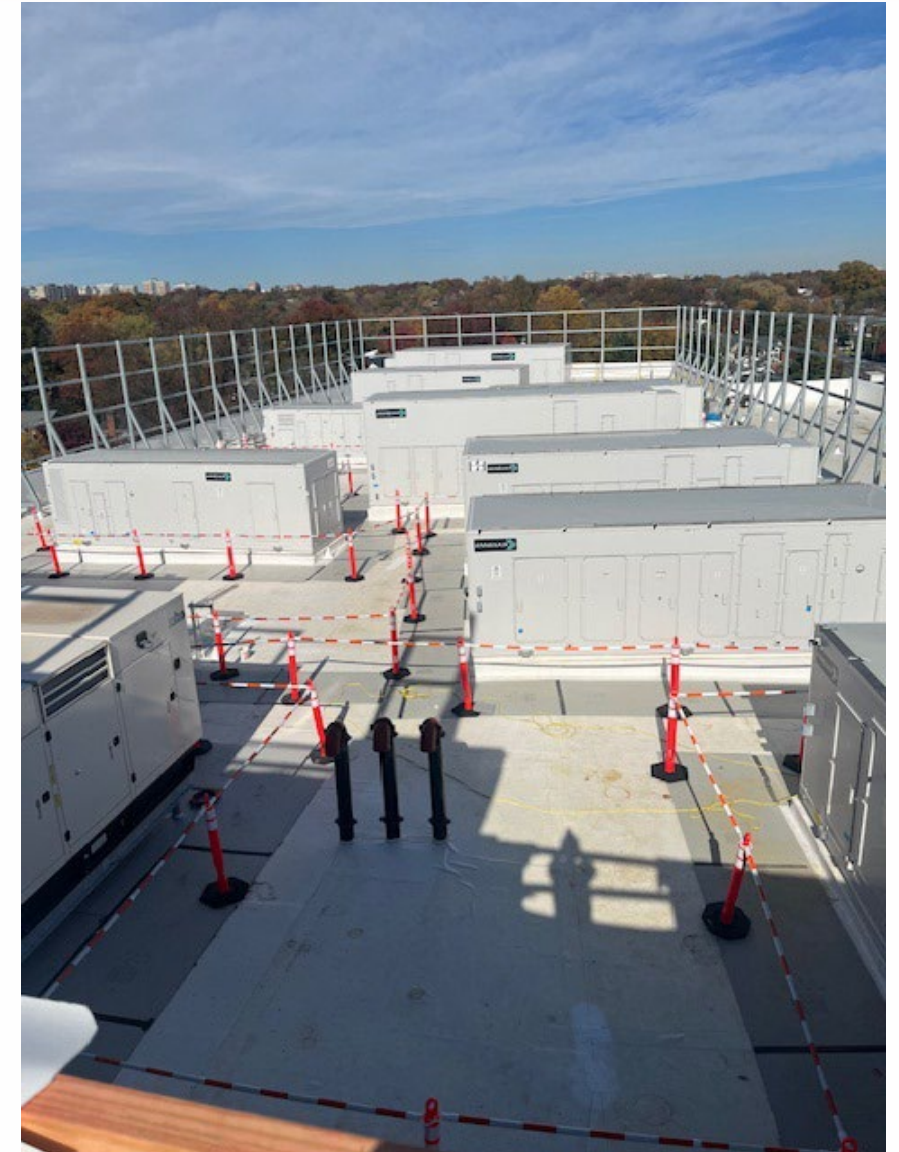
Construction Progress – Drywall and Paint



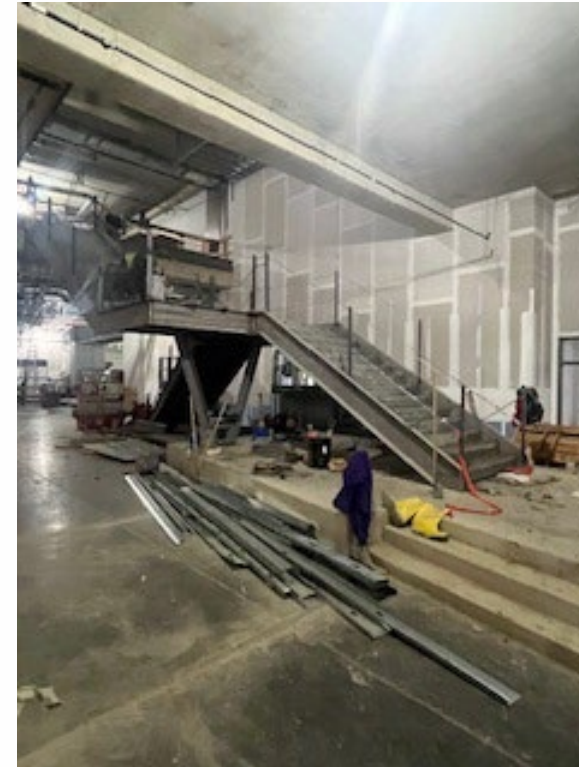
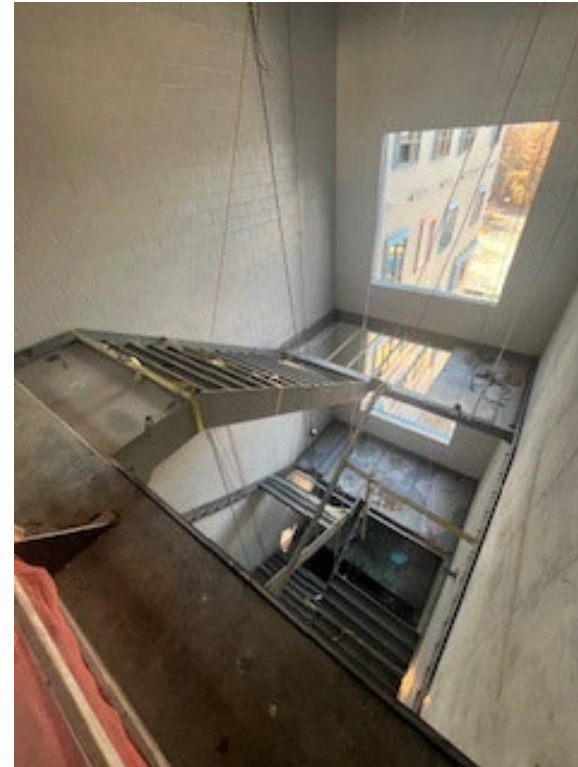
Construction Progress – Mechanical, Electrical, Plumbing Rough-ins



Construction Progress – Rooftop Mounted HVAC Equipment



Construction Progress – Stairs



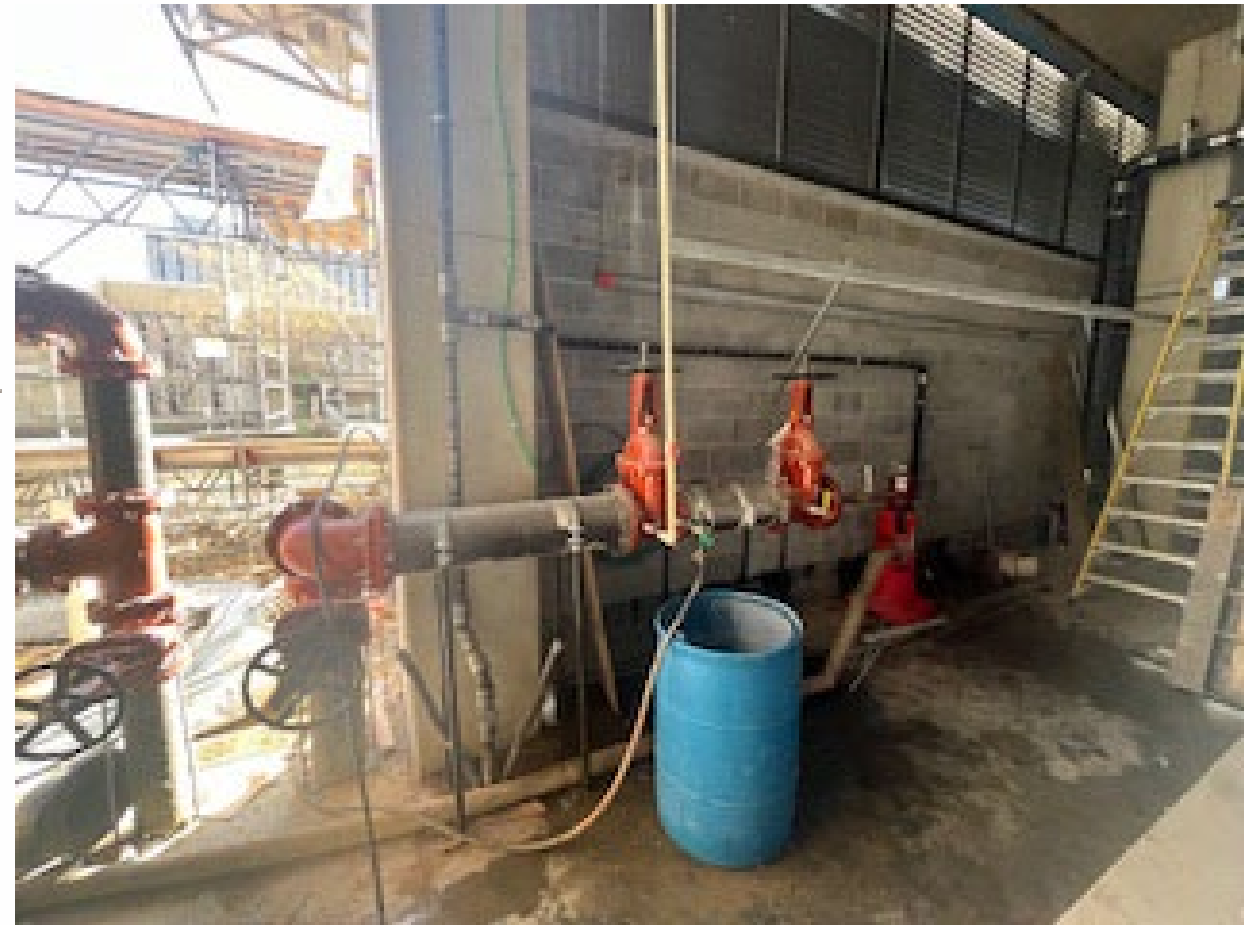
Construction Progress – Electrical Ductbank



Construction Progress – Communications Ductbank



Construction Progress – Water Service



Construction Progress – Gas Service





Arlington
Public
Schools

Construction Progress – Storm Sewer Relocation at S Highland St and 9th St S



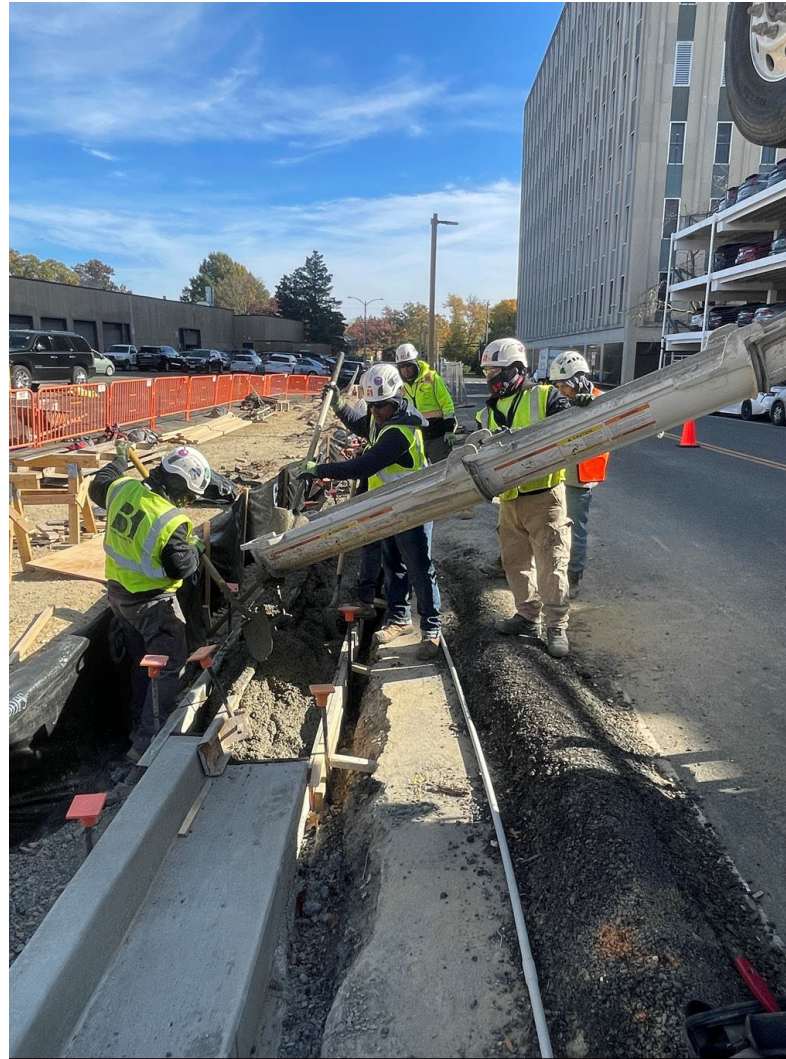
Construction Progress – Storm Sewer Relocation at S Highland St and 9th St S



Construction Progress – Storm Sewer Relocation at S Highland St and 9th St S



Construction Progress – 9th St S Streetscape (new curb & gutter, sidewalk, street lights, and street trees)



Construction Progress – Loading dock/Receiving area



Construction Progress – Loading dock/Receiving area



Construction Progress – Bio-retention Areas



4 Week Construction Look Ahead - Building

- Complete exterior wall framing, sheathing, air/vapor barrier, insulation and window frames
- Continue exterior brick veneer
- Continue exterior metal and composite wall panels
- Continue exterior glazing
- Complete roofing
- Continue interior wall framing and drywall installation
- Continue paint
- Continue mechanical, electrical, and plumbing (MEP) rough-ins within the building
- Continue connecting rooftop mounted HVAC equipment
- Continue stairs installation

4 Week Construction Look Ahead - Site

- Electrical ductbank for permanent power – install building transformers and transformer pads, install and terminate secondary conductors, and install new service drop pole on 7th St S
- Communications ductbank – complete underground ductbank and pull boxes
- Domestic water service and fire line – prepare for tie-in to HVAC system
- Gas service – install gas train and meter and activate service
- Storm sewer east, west, and north of new building – ongoing
- Storm sewer relocation at 9th St S and S Highland St – complete on 9th St S, ongoing on S Highland St
- 9th St S streetscape (new curb & gutter, sidewalk, streetlights, and street trees) – ongoing
- Loading dock/Receiving area construction - ongoing

Maintenance of Traffic and Utility Work

- Maintenance of Traffic (MOT) Plans – will be developed with contractor for each facet of construction and sent to county for approval. Once approved, will be shared with the community for information.
- Temporary Closure of any Traffic Lanes – as part of the MOT Plans, we anticipate that sidewalk, bike lane, and parking lane adjacent to each phase of construction will be closed in order to efficiently execute the construction. There may be some temporary traffic lane shifts as utilities servicing the new facilities are installed.
- Site access during construction – will generally be maintained as per the current configuration with temporary interruptions during the installation of utilities, new concrete entrances, and re-paving of vehicular and pedestrian pathways onsite.
- Timing of Utility Work – other than the temporary traffic lane shifts noted above, we don't anticipate any outages or impacts to abutting neighbors. Notification to abutting neighbors will be provided in advance for any known impacts related to utility work.

New ACC Construction Maintenance of Traffic (MOT) Plan

- No impact to the (northbound) travel lane, parking lane, bike lane, or sidewalk on the east side of S Walter Reed Dr.
- Remove from operation the sidewalk, bike lane, and parking lane along the frontage of the construction site on the west side of S Walter Reed Dr. Unfortunately, it is necessary to include this real estate within the construction zone as it is the only way to efficiently build the new facility given the tight site.
- The southbound travel lane adjacent to the construction site remains but becomes a “sharrow” meaning it can be used by bikes and cars.
- Pedestrians are informed via signage of the sidewalk closure on the west side of S Walter Reed Dr between the intersection of 7th St S and a newly installed crosswalk south of the existing ACC bus loop (in line with ACC door 4) and directed to cross and use the sidewalk on the east side of the street.
- The newly installed crosswalk now has a rapid flash beacon (RFB) installed to better inform motorists of crossing pedestrians.
- In place through summer 2026.
- Cross campus pathway was installed in summer 2025 and is functional.



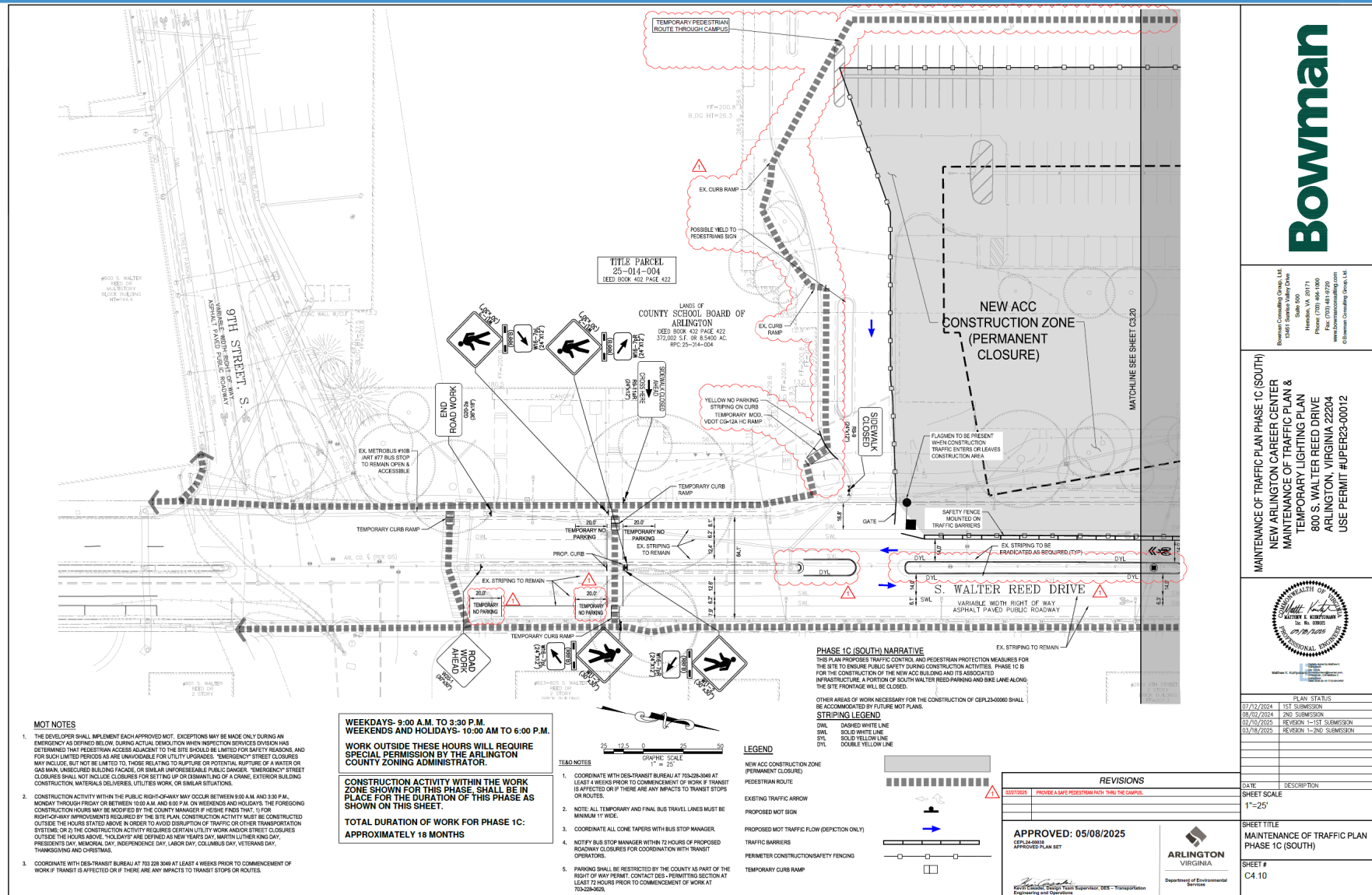
Bowman

MAINTENANCE OF TRAFFIC PLAN PHASE 1C (NORTH)
NEW ARLINGTON CAREER CENTER
MAINTENANCE OF TRAFFIC PLAN &
TEMPORARY LIGHTING PLAN
800 S. WALTER REED DRIVE
ARLINGTON, VIRGINIA 22204
USE PERMIT #UPER23-00012



PLAN STATUS	
07/12/2024	1ST SUBMISSION
06/02/2024	2ND SUBMISSION
02/10/2025	REVISION 1-1ST SUBMISSION
03/16/2025	REVISION 1-2ND SUBMISSION
DATE	DESCRIPTION
SHEET SCALE	
1"=25'	
SHEET TITLE	
MAINTENANCE OF TRAFFIC PLAN PHASE 1C (NORTH)	
SHEET #	
C4.00	

New ACC Construction Maintenance of Traffic Plan South



Bowman

Bowman Consulting Group, LLC
10001
Harrison, VA 20171
Phone: (703) 444-1000
Fax: (703) 444-0700
www.bowmanconsulting.com

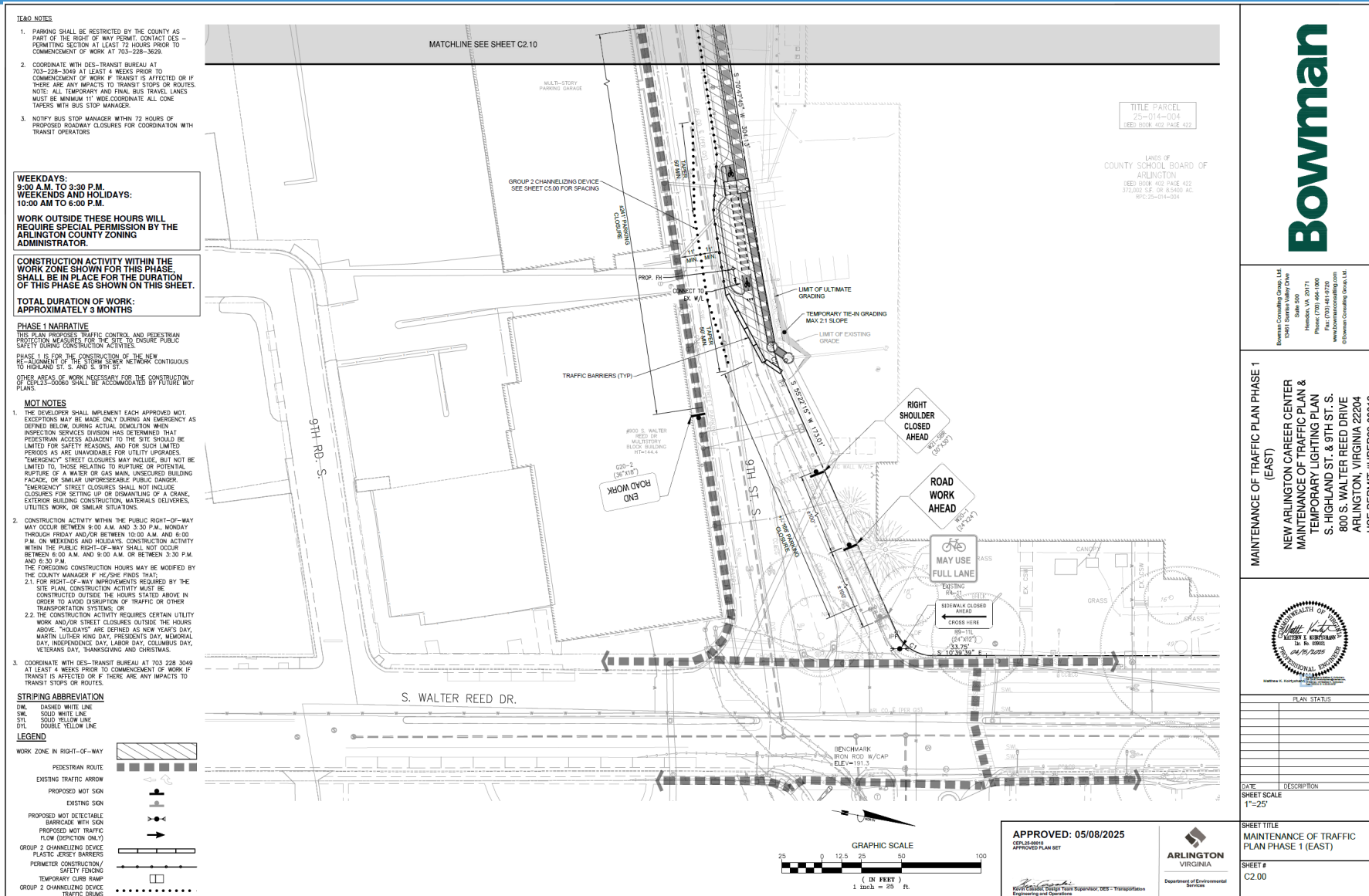
MAINTENANCE OF TRAFFIC PLAN PHASE 1C (SOUTH)
NEW ARLINGTON CAREER CENTER
MAINTENANCE OF TRAFFIC PLAN &
TEMPORARY LIGHTING PLAN
800 S. WALTER REED DRIVE
ARLINGTON, VIRGINIA 22204
USE PERMIT #UPEP23-00012



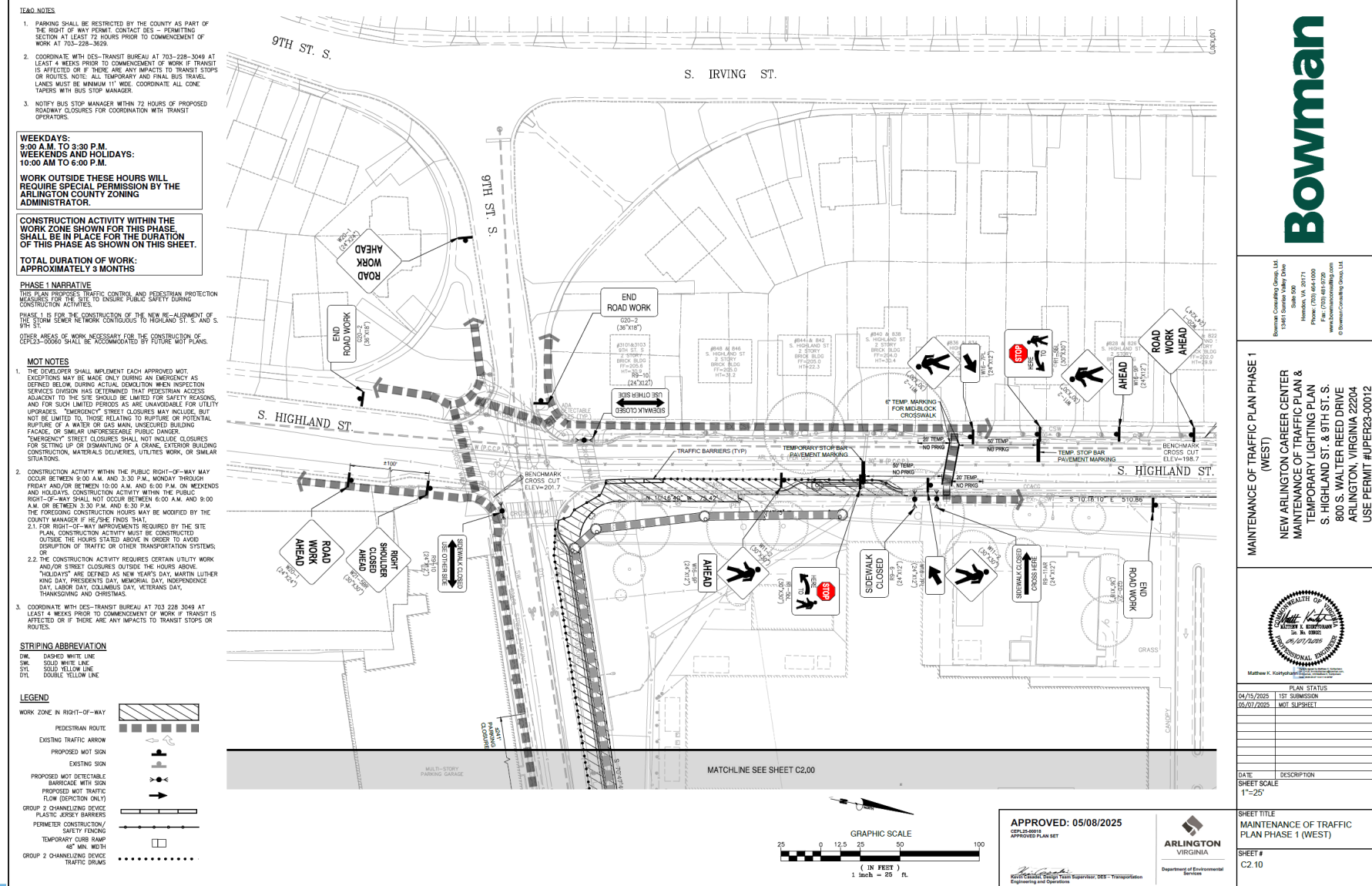
Storm Sewer Relocation Maintenance of Traffic (MOT) Plan

- All New ACC Construction MOT Plan elements are still in place during this MOT Plan.
- This MOT Plan accommodates storm sewer relocation at 9th St S and the southern end of S Highland St. as well as new streetscape work
- The duration of work for this MOT Plan is approximately 6 months, the work started in late July.
- A Right of Way (ROW) permit has been secured for this work.
- Storm Sewer Relocation MOT Plan has been approved by County Permitting and was distributed to the community via email on 5/21.

Storm Sewer Relocation Maintenance of Traffic (MOT) Plan East

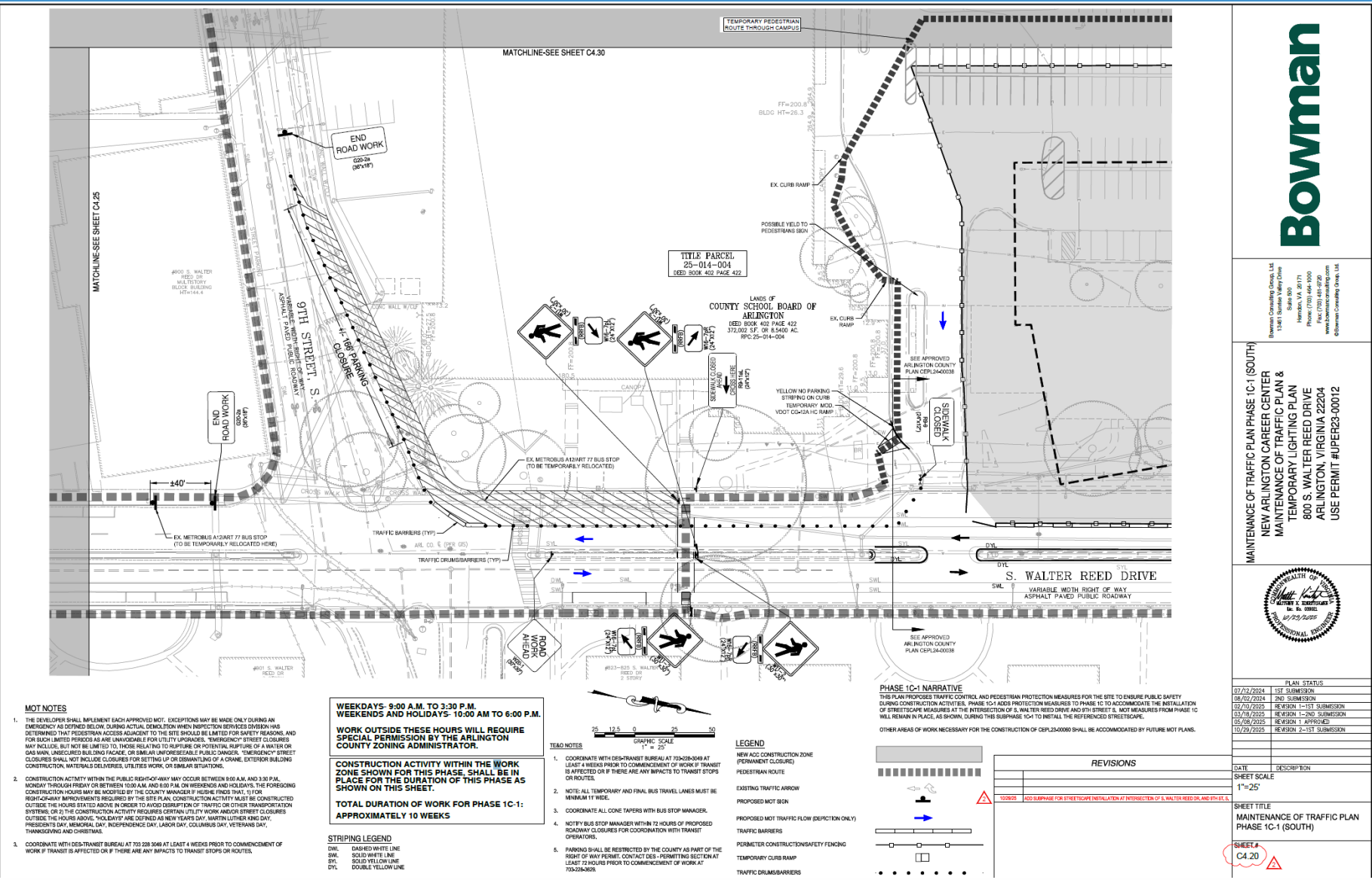


Storm Sewer Relocation Maintenance of Traffic (MOT) Plan West



- All New ACC Construction MOT Plan elements are still in place during this MOT Plan.
- This MOT Plan accommodates new streetscape work (new curb & gutter, sidewalk, street lights, and street trees) at, and in proximity to, the intersection of S Walter Reed Dr and 9th St S
- The duration of work for this MOT Plan is approximately 4 months, work start date pending approval of Right of Way (ROW) permit.
- A Right of Way (ROW) permit application has been submitted and is in County Permitting review.
- Southeast Corner Streetscape MOT Plan has been approved by County Permitting and was distributed to the Community via email on 12/1

Southeast Corner Streetscape Maintenance of Traffic (MOT) Plan – Part 1



- MOT NOTES**
1. THE DEVELOPER SHALL IMPLEMENT EACH APPROVED MOT. EXCEPTIONS MAY BE MADE ONLY DURING AN EMERGENCY AS DEFINED BELOW. DURING ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPDATES, EMERGENCY STREET CLOSURES MAY INCLUDE, BUT NOT BE LIMITED TO, THOSE RELATING TO REPAIRS OR POTENTIAL RUPTURES OF A WATER OR GAS MAIN, UNSECURED BUILDING FACADE, OR SIMILAR UNREASONABLE PUBLIC DANGER. "EMERGENCY" STREET CLOSURES SHALL NOT INCLUDE CLOSURES FOR SETTING UP OR DRAINAGING OF A CANAL, EXTERIOR BUILDING CONSTRUCTION, MATERIALS DELIVERIES, UTILITIES WORK, OR SIMILAR SITUATIONS.
 2. CONSTRUCTION ACTIVITY WITHIN THE PUBLIC RIGHT-OF-WAY MAY OCCUR BETWEEN 8:00 A.M. AND 3:30 P.M. MONDAY THROUGH FRIDAY OR BETWEEN 10:00 A.M. AND 6:00 P.M. ON WEEKENDS AND HOLIDAYS. THE FOREGOING CONSTRUCTION HOURS MAY BE MODIFIED BY THE COUNTY MANAGER IF NECESSARY. THAT, 5:15 FOR RIGHT-OF-WAY IMPROVEMENTS REQUIRED BY THE SITE PLAN. CONSTRUCTION ACTIVITY MUST BE CONDUCTED OUTSIDE THE HOURS LISTED ABOVE IN ORDER TO AVOID DISRUPTION OF TRAFFIC AND/OR OTHER TRANSPORTATION SYSTEMS. OR 2) THE CONSTRUCTION ACTIVITY REQUIRES CERTAIN UTILITY WORK AND/OR STREET CLOSURES OUTSIDE THE HOURS ABOVE. "CLOSURES" ARE DEFINED AS NEW YEAR'S DAY, MARTIN LUTHER KING DAY, PRESIDENT'S DAY, MEMORIAL DAY, INDEPENDENCE DAY, LABOR DAY, COLUMBUS DAY, VETERANS DAY, THANKSGIVING, AND CHRISTMAS.
 3. COORDINATE WITH DES-TRANSIT BUREAU AT 703-228-3048 AT LEAST 4 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED OR IF THERE ARE ANY IMPACTS TO TRANSIT STOPS OR ROUTES.

WEEKDAYS- 9:00 A.M. TO 3:30 P.M.
WEEKENDS AND HOLIDAYS- 10:00 AM TO 6:00 P.M.

WORK OUTSIDE THESE HOURS WILL REQUIRE SPECIAL PERMISSION BY THE ARLINGTON COUNTY ZONING ADMINISTRATOR.

CONSTRUCTION ACTIVITY WITHIN THE WORK ZONE SHOWN FOR THIS PHASE, SHALL BE IN PLACE FOR THE DURATION OF THIS PHASE AS SHOWN ON THIS SHEET.

TOTAL DURATION OF WORK FOR PHASE 1C-1: APPROXIMATELY 10 WEEKS

STRIPING LEGEND

DWL DASHED WHITE LINE
SWL SOLID WHITE LINE
BYL SOLID YELLOW LINE
DTL DOUBLE YELLOW LINE

- TEMO NOTES**
1. COORDINATE WITH DES-TRANSIT BUREAU AT 703-228-3048 AT LEAST 4 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED OR IF THERE ARE ANY IMPACTS TO TRANSIT STOPS OR ROUTES.
 2. NOTE: ALL TEMPORARY AND FINAL BUS TRAVEL LANES MUST BE MINIMUM 11' WIDE.
 3. COORDINATE ALL CONE TAPERS WITH BUS STOP MANAGER.
 4. NOTIFY BUS STOP MANAGER WITHIN 72 HOURS OF PROPOSED ROADWAY CLOSURES FOR COORDINATION WITH TRANSIT OPERATORS.
 5. PARKING SHALL BE RESTRICTED BY THE COUNTY AS PART OF THE RIGHT OF WAY POINT-TO-POINT CONTACT SEE-POINTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK AT 703-228-3048.

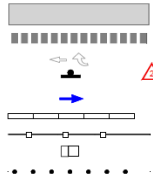
LEGEND

NEW ACC CONSTRUCTION ZONE (PERMANENT CLOSURE)
PEDESTRIAN ROUTE
EXISTING TRAFFIC ARROW
PROPOSED MOT SIGN
PROPOSED MOT TRAFFIC FLOW (EXISTING ONLY)
ROADWAY CLOSURES FOR COORDINATION WITH TRANSIT OPERATORS
PERMETER CONSTRUCTION SAFETY FENCING
TEMPORARY CURB RAMP
TRAFFIC DRUMS/BARRIERS

PHASE 1C-1 NARRATIVE

THIS PLAN PROPOSES TRAFFIC CONTROL AND PEDESTRIAN PROTECTION MEASURES FOR THE SITE TO ENSURE PUBLIC SAFETY DURING CONSTRUCTION ACTIVITIES. PHASE 1C-1 ADDS PROTECTION MEASURES TO PHASE 1C TO ACCOMMODATE THE INSTALLATION OF STREETSCAPE MEASURES AT THE INTERSECTION OF S. WALTER REED DRIVE AND 9TH STREET. S. NOT MEASURES FROM PHASE 1C WILL REMAIN IN PLACE, AS SHOWN, DURING THIS SUBPHASE 1C-1 TO INSTALL THE REFERENCED STREETSCAPE.

OTHER AREAS OF WORK NECESSARY FOR THE CONSTRUCTION OF CEPL25-00008 SHALL BE ACCOMMODATED BY FUTURE MOT PLANS.



REVISIONS	
DATE	DESCRIPTION
07/17/2024	1ST SUBMISSION
08/02/2024	2ND SUBMISSION
02/20/2025	REVISION 1-1ST SUBMISSION
03/19/2025	REVISION 1-2ND SUBMISSION
05/09/2025	REVISION 1 APPROVED
10/29/2025	REVISION 2-1ST SUBMISSION



PLAN STATUS	
07/17/2024	1ST SUBMISSION
08/02/2024	2ND SUBMISSION
02/10/2025	REVISION 1-1ST SUBMISSION
03/19/2025	REVISION 1-2ND SUBMISSION
05/08/2025	REVISION 1 APPROVED
10/29/2025	REVISION 2-1ST SUBMISSION



Bowman

Bowman Consulting Group, Ltd.
 13461 Sunrise Valley Drive
 Suite 500
 Herndon, VA 20171
 Phone: (703) 464-1000
 Fax: (703) 491-9720
www.bowmanconsulting.com
 © Bowman Consulting Group, Ltd.

MAINTENANCE OF TRAFFIC PLAN PHASE 1C2 (SOUTH)
NEW ARLINGTON CAREER CENTER
MAINTENANCE OF TRAFFIC PLAN &
TEMPORARY LIGHTING PLAN
800 S. WALTER REED DRIVE
ARLINGTON, VIRGINIA 22204
USE PERMIT #UPER23-00012



PLAN STATUS	
07/12/2024	1ST SUBMISSION
08/02/2024	2ND SUBMISSION
02/10/2025	REVISION 1-1ST SUBMISSION
03/18/2025	REVISION 1-2ND SUBMISSION
05/08/2025	REVISION 1 APPROVED
10/29/2025	REVISION 2-1ST SUBMISSION

DATE	DESCRIPTION
SHEET SCALE	
1"=25'	

SHEET TITLE
MAINTENANCE OF TRAFFIC PLAN
PHASE 1C-2 (SOUTH)

SHEET #
C4.35

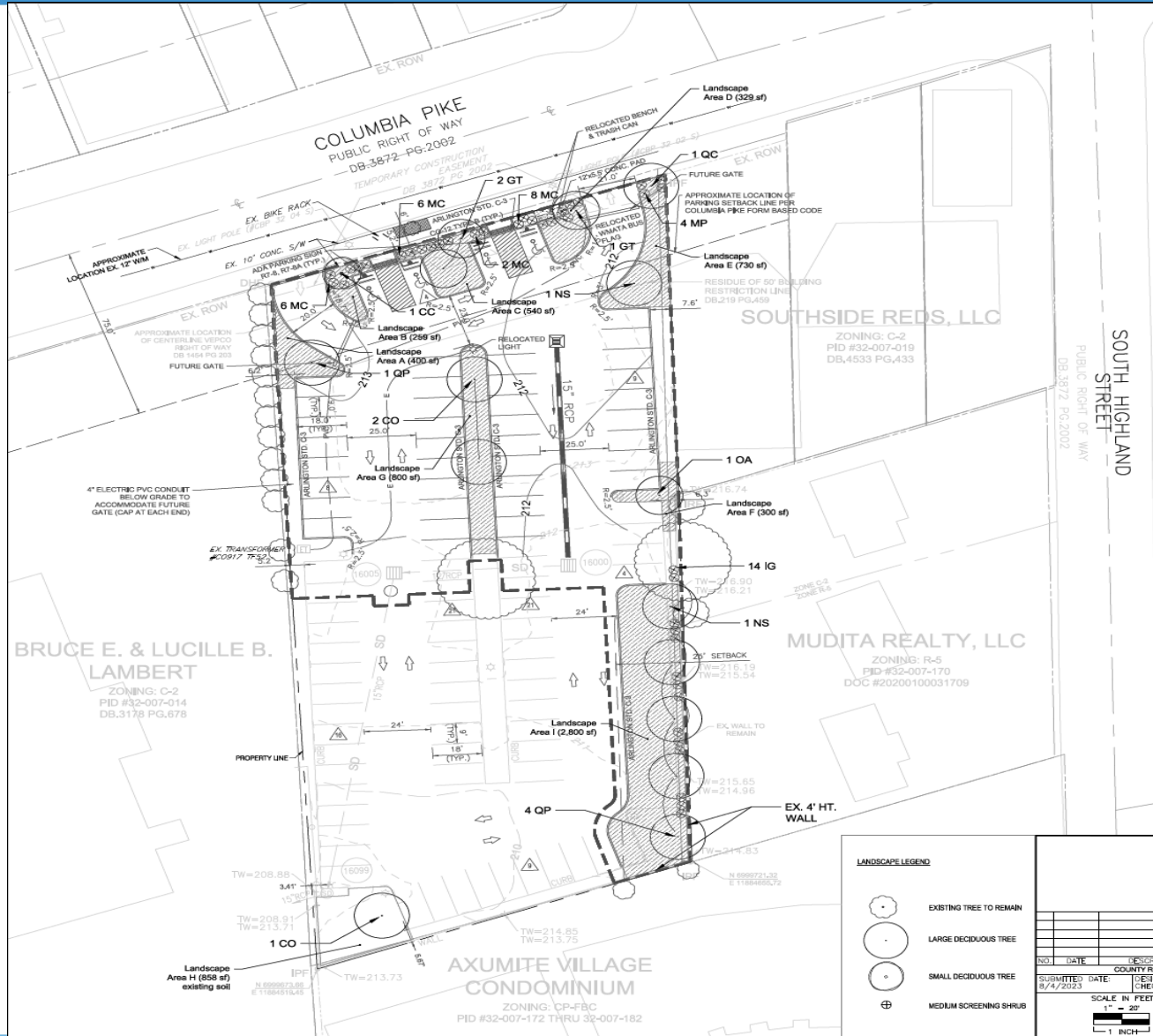
Construction Issues - Contractor Parking

- Dedicated contractor parking is located at the 92 space surface parking lot at 3108 Columbia Pike (former SunTrust Bank building).
- Contractor has installed access gates at the entries and signage restricting use to contractor forces only for the duration of construction.
- Contractor will start locking gates if needed as well as enforcing towing to ensure the full complement of parking spaces is available in the lot for construction workers in their efforts to keep workers from parking on neighborhood streets
- Contractor is responsible for procuring and policing any additional parking required to meet their needs.
- Contractor has been directed to continue policing 7th St S, 9th St S and other surrounding streets to ensure their workforce is not parking on street





Contractor Parking at 3108 Columbia Pike



ON-SITE TREE SOIL VOLUME CALCULATIONS			
PLANTING AREA	# OF TREES	SOIL VOLUME PROVIDED	REQUIRED SOIL VOLUME PER TREE
A	1	1200 CF	1200 CF
B	1	777 CF	600 CF
C	2	1620 CF	810 CF
D	1	987 CF	750 CF
E	2	2190 CF	1095 CF
F	1	765 CF	750 CF
G	2	2,400 CF	1,200 CF
H	1	1,716 CF	1,200 CF
I	5	8,400 CF	1,680 CF

CANOPY CALCULATIONS	
CANOPY CALCULATION (SQUARE FEET)	
PARCEL SIZE	43,165 SF
TREE CANOPY REQUIRED (10%)	4,317 SF
LARGE CANOPY TREE CONSERVED (X2 BONUS)	0
SMALL CANOPY TREE CANOPY CONSERVED	0
TREE CANOPY REMAINING TO PLANT	4,317 SF
TREE CANOPY PLANTED	5,381.25 SF
TOTAL TREE CANOPY (CONSERVATION AND PLANTING)	5,381.25 SF

TREE REPLACEMENT CALCULATIONS	
SEE TREE INVENTORY ON SHEET C-300	
REPLACEMENT TREES REQUIRED	7
REPLACEMENT TREES PROVIDED	10

TREE PLANTING CALCULATIONS									
SYMBOL	SPECIES	COMMON NAME	SIZE	AMOUNT	SPACING	COVERAGE	TOTAL COVERAGE	COMMENTS	REPLACEMENT TREES
CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	3/4-2" CAL.	3	PER PLAN	393.75	1181.25		3
CC	CERCIS CANADENSIS	EASTERN REDBUD	1 3/4-2" CAL.	1	PER PLAN	137.50	137.50	SINGLE TRUNK	
GT	GLEDITSIA TRIACANTHOS	SHADENASTY	3/4-2" CAL.	3	PER PLAN	312.50	937.50		
NS	NYSSA SYLVATICA	TUPELO	1 3/4-2" CAL.	2	PER PLAN	312.50	625.00		2
OA	ORYZANDRUM ARBOREUM	SOURWOOD	1 3/4-2" CAL.	1	PER PLAN	137.50	137.50		
QC	QUERCUS COCCINEA	SCARLET OAK	3/4-2" CAL.	1	PER PLAN	393.75	393.75		
QP	QUERCUS PHellos	WILLOW OAK	1 3/4-2" CAL.	5	PER PLAN	393.75	1968.75		5
SHRUB PLANTING									
MC	MORRELLA GERIFERA	DON'S DWARF SOUTHERN WAX MYRTLE	24-30"	26	PER PLAN			FULL	
IG	ILEX GLABRA 'SHAMROCK'	SHAMROCK HOBERRY	24-30"	14	PER PLAN			FULL	
TOTAL:							5381.25		10

- TREE PLANTING
- PLANTS SHALL BE FURNISHED AND INSTALLED AS INDICATED ON THE LANDSCAPE PLAN.
 - PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY AND COMPLY WITH MOST RECENT ANSI Z60.1 STANDARDS.
 - PLANTS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE-DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD SHALL BE REJECTED. ALL PLANTS KEPT ON SITE FOR ANY PERIOD SHOULD BE WATERED AND CARED FOR USING ANSI Z60.1 STANDARDS.
 - NO STAKES SHALL BE USED TO STABILIZE TREES, UNLESS DIRECTED BY THE ARLINGTON COUNTY URBAN FORESTER.
 - TREES PLANTED SHALL RECEIVE A 3-INCH-THICK LAYER OF SHREDDED HARDWOOD MULCH, IN A 6 FOOT RING SURROUNDING THE TREE, WITH A 6 INCH CLEAR AREA NEAR THE TRUNK.
 - PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY.
 - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOP SOIL THAT IS IN MUDDY OR FROZEN CONDITION. TREES AND SHRUBS SHALL BE INSTALLED BETWEEN 09/15 AND 12/15 OR BETWEEN 03/15 AND 06/15. CONTACT THE ARLINGTON COUNTY URBAN FORESTER TO OBTAIN A DEFERRAL OR APPROVAL FOR PLANTING OUT OF SEASON.
 - NO PLANT, EXCEPT GROUNDCOVERS, SHALL BE PLANTED WITHIN TWO FEET OF A SIDEWALK, 5 FEET FROM A FENCE, 10 FEET FROM A BUILDING, OR 15 FEET FROM OVERHEAD UTILITY LINES.
 - TREES AND SHRUBS SHALL BE PLANTED IN HOLES TWO TO THREE TIMES AS WIDE AND TO THE DEPTH OF THE ROOT BALL.
 - PLANTS SHALL BE PLANTED IN HEALTHY, UNCOMPACTED SOIL. SEE THE PLANTING DETAIL FOR SOIL SPECIFICATION.
 - SET ALL PLANTS PLUMB AND STRAIGHT AT SUCH LEVEL THAT NORMAL OR NATURAL RELATIONSHIP BETWEEN THE PLANT AND THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE THE PLANT IN THE CENTER OF THE PIT.
 - INJURED ROOTS SHALL BE PRUNED TO CLEAN ENDS BEFORE PLANTING WITH CLEAN, SHARP TOOLS. THE LEAVES OF TREES SHALL NOT BE CUT BACK.
 - AT THE END OF THE PROJECT, PRESERVED AND PLANTED TREES MUST BE INSPECTED AND APPROVED BY AN ARLINGTON COUNTY URBAN FORESTER.

Dewberry Engineers Inc.
5401 ARLINGTON BLVD.
ARLINGTON, VA 22204
PHONE: 703.848.0100
FAX: 703.848.0110

ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES

LANDSCAPE PLAN
3108 COLUMBIA PIKE DEMOLITION
3108 COLUMBIA PIKE
ARLINGTON COUNTY, VIRGINIA 22204

901 22 OF 28

ARLINGTON VIRGINIA
Department of Environmental Services

LANDSCAPE LEGEND

EXISTING TREE TO REMAIN
LARGE DECIDUOUS TREE
SMALL DECIDUOUS TREE
MEDIUM SCREENING SHRUB

NO. DATE DESCRIPTION COUNTY REVISIONS BY

SUBMITTED: 8/4/2023 DATE: 02/26/2024 DESIGNED: BWS PROJECT/FILE NO. LCP24-0001 CHECKED: TCC LCP23-00146 APPROVED: 02/26/2024 LCP24-0001 APPROVED PLAN SET

SCALE: IN FEET 1" = 20' 1" = 1" VCS-3.3

ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES
PLANNING DIVISION

- 250 spaces total are being provided between onsite spaces at the ACC campus and leased spaces at the ECDC parking garage on 9th St S for the duration of construction until such time as the new parking garage is available for use.
- For phase 1 there are approximately 100 spaces onsite in the ACC surface lot, and we are leasing 150 spaces in the ECDC parking garage. The ECDS parking garage spaces are well utilized.
- County DES has removed parking meters on 9th St S and installed time limited “8-hour parking at all times” signage. Parallel parking spaces on 9th St S have been well utilized since the parking meters were removed.



Construction Issues – Engagement with ACC Students and Staff

- Various opportunities continue to be explored for involving students and staff in the facility construction
- General Contractor Whiting-Turner (W-T) is running regular tours of the jobsite to inform students of various elements of the construction. 5th tour for students and staff took place on 9/29.
- On 10/17, W-T organized the Carpentry students to assist with wood blocking installation on-site and for the TV Studio students to film the activity.
- The last staff only tour took place on 10/28
- On 11/20, the APS Project Manager and the Project Architect attended the Cornerstone project-based learning (PBL) session with staff and students at the Fairlington Community Center to discuss school garden opportunities. Follow up meeting TBD
- W-T Site camera link shared with school administrative staff for display on Common Area video displays
- W-T personnel have indicated they are available to assist Carpentry staff to train students on drywall installation and finishing. This activity will likely be scheduled early in the new year
- Other potential opportunities being explored:
 - Actual rough-in installation by carpentry and electrical classes
 - Trades Day
 - Media Classes/Engagement
 - Computed aided Design/Drafting

Community Updates and Liaison

- Community updates during construction – quarterly community update meetings during construction to be held in existing ACC Commons, next update meeting will be held in mid-January 2026. Monthly construction updates will also be posted to the project website on or about the 1st of each month.
- Project website: <https://www.apsva.us/engage/arlington-career-center-project/>
- Community liaisons during construction
 - a. APS Project Manager:
Steve Stricker
steven.stricker@apsva.us
Cell: 571.220.0048
 - b. Onsite Construction Manager:
Keith Jones
keith.jones@turntown.com
Cell: 202.409.1769